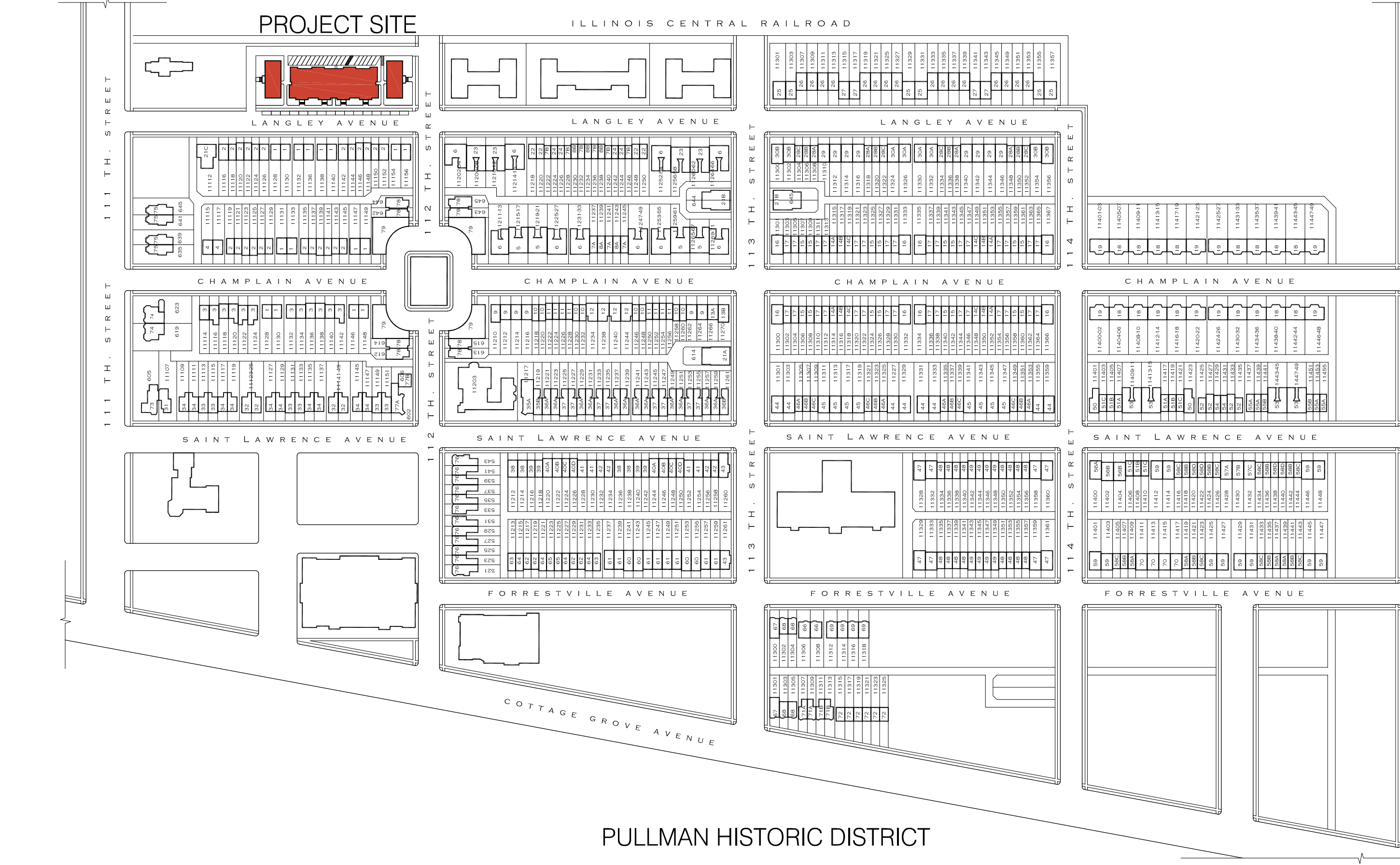
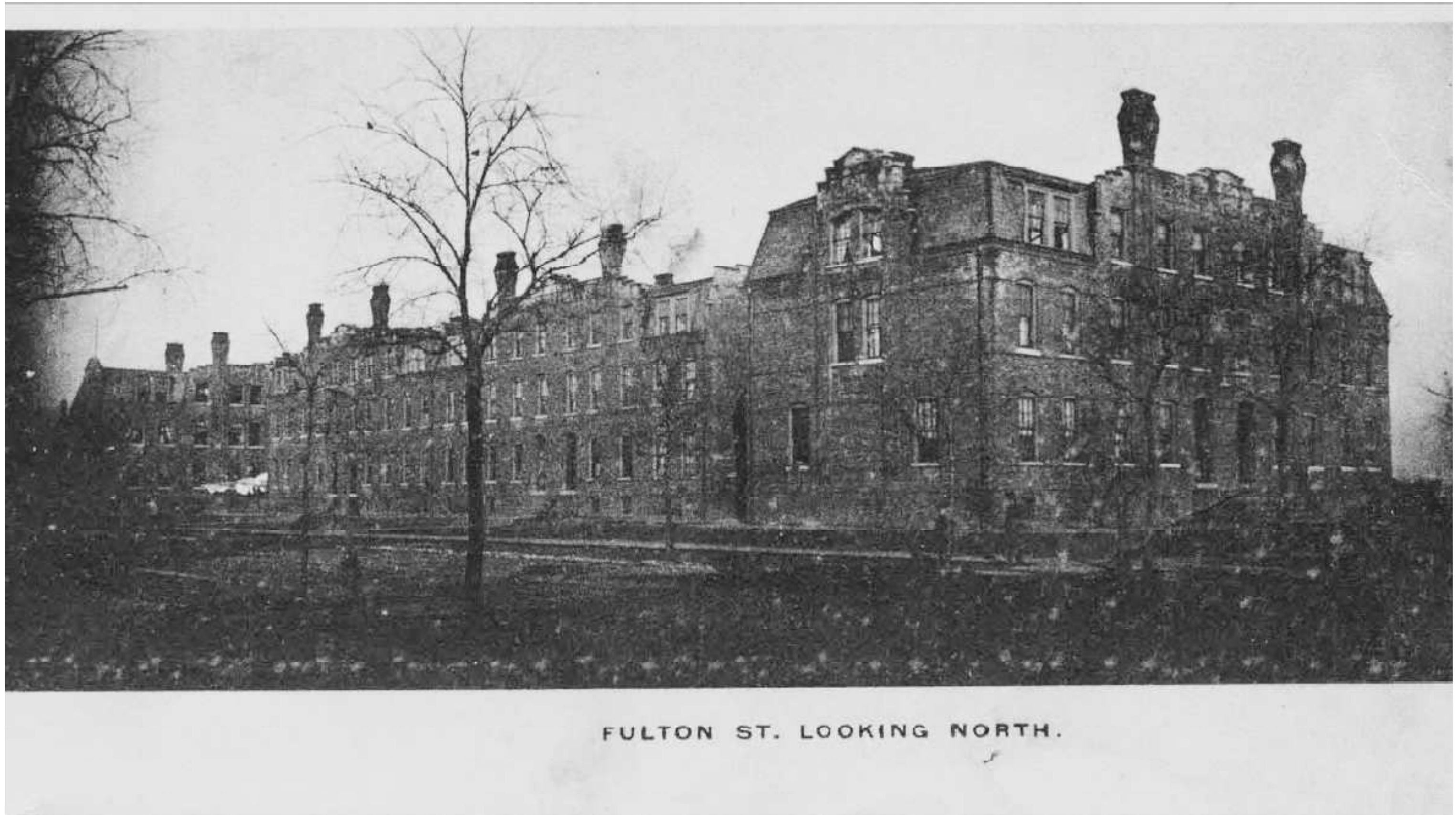


CONTEXT MAP

PART 2 SUBMISSION TO ILLINOIS STATE HISTORIC PRESERVATION OFFICE.
PULLMAN ARTSPACE LOFTS, CHICAGO, ILLINOIS
ADDRESS: 11127-29 S. LANGLEY AVENUE, 11137-49 S. LANGLEY AVENUE, 704-706 E. 112th STREET
SUBMISSION DATE: MARCH 18, 2016.

PULLMAN HISTORIC DISTRICT





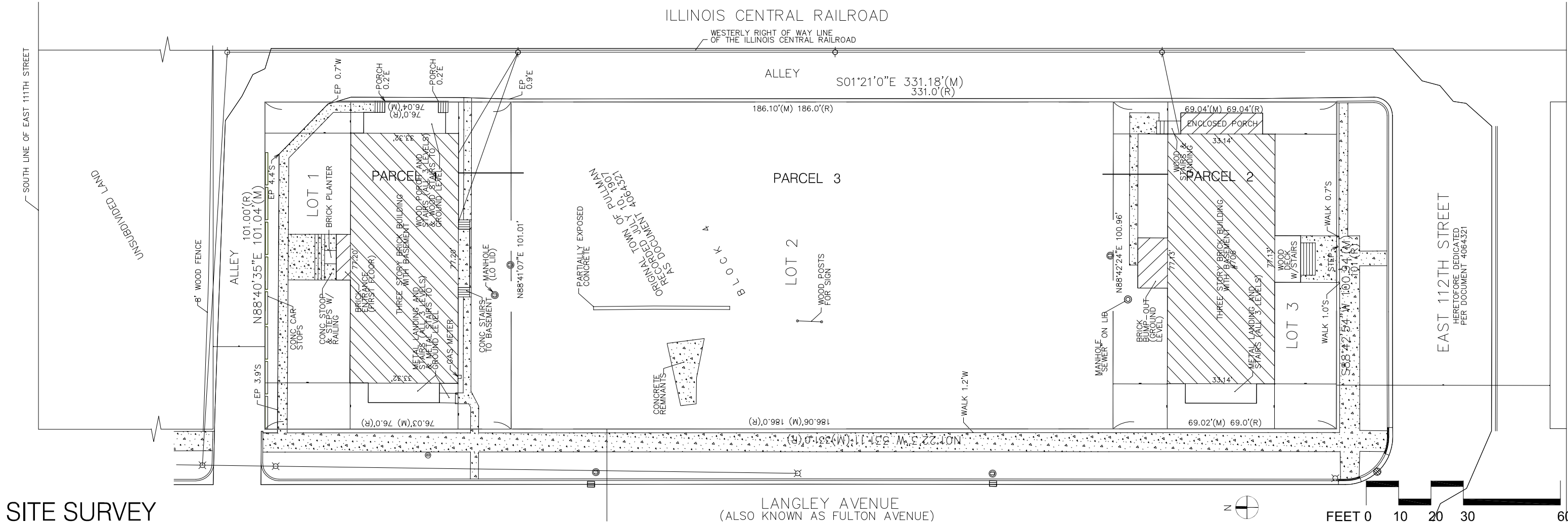
HISTORIC PHOTO OF THE SITE - VIEW FROM THE SOUTHWEST

PART 2 SUBMISSION TO ILLINOIS STATE HISTORIC PRESERVATION OFFICE.
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CURRENT CONDITIONS PHOTO - VIEW FROM THE SOUTHWEST

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SITE SURVEY



COMPOSITE PHOTO OF EMPTY LOT TO NORTH



COMPOSITE ELEVATION OF THE SITE (EAST SIDE OF 11TH BLOCK OF SOUTH LANGLEY AVENUE)



PHOTOS OF RESIDENTIAL BUILDINGS, WEST SIDE OF 11TH BLOCK OF SOUTH LANGLEY AVENUE



EXISTING CONDITIONS SURVEY

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PULLMAN ARTSPACE LOFTS Chicago, Illinois
CHICAGO ZONING ORDINANCE

Within the **Pullman (Chicago) Landmark District** and the **Pullman National Historic Landmark District**
Present Zoning: **RT-4**
Proposed Zoning: **B2-2, then RBPB**

PLANNED DEVELOPMENT BULK REGULATIONS AND DATA TABLE
Submitted with Planned Development Application January 19, 2016:

Gross Planned Development Site:	52,810 square feet (1.21 acres)
Net Planned Development Site:	33,441 square feet (0.77 acre)
Area in Rights-of-Way:	19,369 square feet (0.44 acre)
Permitted Uses:	Artist Live-Work Space; Community Center; Artist Work and Sale Space; Accessory Uses and Non-Required Accessory Parking
Maximum Floor Area Ratio:	1.7
Maximum # Dwelling Units:	38
Maximum # Non-Required Accessory Off-Street Parking Spaces:	17
Minimum # Bicycle Spaces:	25
Minimum # Off-Street Loading Spaces:	0
Setbacks:	In accordance with the Site Dimension and Landscape Plans
Maximum Building Heights:	40' (Existing Buildings); 45' (New Building)

CHICAGO BUILDING CODE – Preliminary Review

BUILDING CONSTRUCTION REQUIREMENTS

Class E Business Use 3-13-56-120

Mixed use (residential) is required (incidental use is limited to 5% 13-56-250)

Use separation is required to be 1 hour 13-56-280

Occupancy 1 person for every 100 square feet 13-56-320

Permissible Construction type (least restrictive) **III-B Exterior Protected Construction**13-60-040

Height limit 4 stories, 55 feet 13-48-030

Floor area limit, 8,000 square feet 13-48-070

Floor areas may be increased 100 percent of the areas established in Section 13-48-070 when the building is equipped throughout with an approved automatic sprinkler system (New Building only), 16,000 square feet 13-48-090 (b)

Assembly Ratings 13-60-100

Exterior bearing walls 3 hours, 2 hours abutting a street or open space

Exterior non-bearing walls 2 hours, 1 hour abutting a street or open space

Interior bearing walls 1 hour, if combustible construction limited to two floors and a roof.

Exterior columns 3 hours

Interior columns supporting floors 1 hour

Interior columns supporting roof only 1/2 hour

Floor construction 1 hour

Roof construction 1/2 hour

Class A-2 Multiple Family Use:

3-13-56-120

Mixed use (business) is required (incidental use is limited to 5% 13-56-250)

Use separation is required to be 1 hour 13-56-280

Occupancy 1 person for every 125 square feet 13-56-320

Permissible Construction type (least restrictive) **III-B Exterior Protected Construction**13-60-040

Height limit 4 stories, 55 feet 13-48-030

Floor area limit, 10,000 square feet 13-48-070

Floor areas may be increased 100 percent of the areas established in Section 13-48-070 when the building is equipped throughout with an approved automatic sprinkler system (New Building only), 16,000 square feet 13-48-090 (b)

Assembly Ratings 13-60-100

Exterior bearing walls 3 hours, 2 hours abutting a street or open space

Exterior non-bearing walls 2 hours, 1 hour abutting a street or open space

Interior bearing walls 1 hour, if combustible construction limited to two floors and a roof.

Exterior columns 3 hours

Interior columns supporting floors 1 hour

Interior columns supporting roof only 1/2 hour

Floor construction 1 hour

Roof construction 1/2 hour

OCCUPANCY REQUIREMENTS

Occupancy Contents

Business Use: 100 square feet per person, approx. 110 persons per floor (New Building), 18 persons per floor, North and South (Existing) Buildings 13-56-320

Minimum Room Area Requirements (Residential)

Combined cooking, dining, living – not less than 180 SF

At least one unit per unit – not less than 150 SF

Kitchen and Dining Rooms – not less than 60 SF

All other habitable rooms – not less than 70 SF 13-64-040

Minimum Ceiling Height (Residential) – 7'-6" 13-64-050

Special Enclosures or Separations (Residential) 13-64-020

(a) In all multiple dwellings every dwelling unit shall be separated from all other parts of the building by walls or partitions of noncombustible construction, or of construction consisting of wood studs with metal lath and plaster, or an equivalent noncombustible surface material, or with perforated gypsum board and plaster, or an equivalent noncombustible surface material, and shall provide fire-resistance of not less than one hour.

(b) In multiple dwellings partitions, floor construction and ceiling construction enclosing public corridors shall be of noncombustible construction, or shall be constructed of wood joists or wood studs with metal lath and plaster, or an equivalent noncombustible surface material, or perforated gypsum board and plaster, or an equivalent noncombustible surface material, and shall provide fire-resistance of not less than one hour. Any openings shall be protected by doors having fire resistance of not less than a 1 3/4 inch solid flush panel door with a rebated frame of solid material 1 3/4 inch thick or metal frames of not less than number 16 gauge.

FIRE PROTECTION EQUIPMENT REQUIREMENTS (Residential)

Carbon Monoxide Detectors – 1 per unit 13-64-210

Smoke Detectors – 1 per unit 13-64-120

Fire Extinguishers – 75' maximum travel distance to a fire extinguisher 15-16-640

EXIT REQUIREMENTS (Residential)

Minimum Number of Exits – 2 from every floor, space or room 13-160-050

Maximum Travel Distance – 100' 13-160-140

Dead End Corridor – 50' 13-160-160

Exit Widths – 1 unit = 22"; add 12" = 1.5 units 13-160-190

Capacity of Exit Widths – Stairs: 40 persons per unit of exit width; Doors: 60 persons per unit of exit width 13-160-210

Minimum widths of Exits – Doors: 36"; Stairs and Corridors: 44" 13-160-220

LIGHT AND VENTILATION REQUIREMENTS (Residential)

Minimum Glazed Area per Habitable Room – 8% of Floor Area 13-172-070

Minimum Ventilated Area per Habitable Room – 4% of Floor Area 13-172-090

ZONING ANALYSIS AND BUILDING CODE

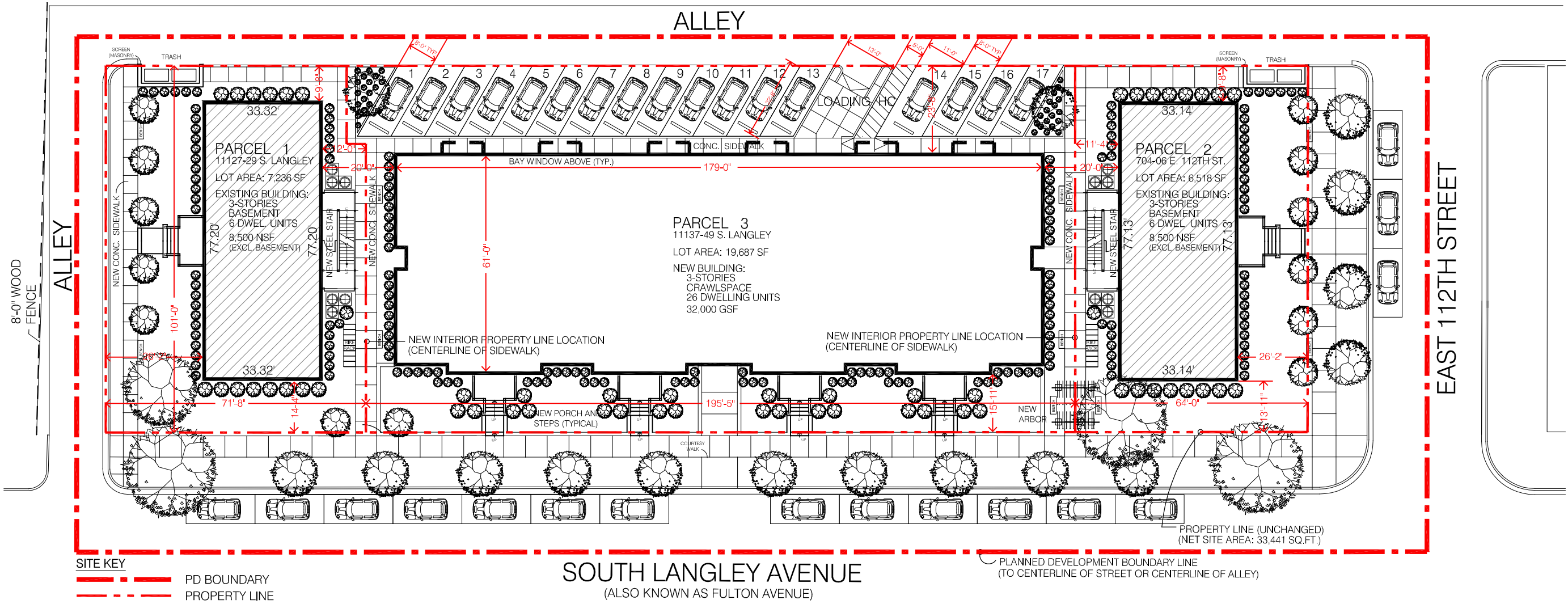
PART 2 SUBMISSION TO ILLINOIS STATE HISTORIC PRESERVATION OFFICE.

PULLMAN ARTSPACE LOFTS, CHICAGO, ILLINOIS

ADDRESS: 11127-29 S. LANGLEY AVENUE, 11137-49 S. LANGLEY AVENUE, 704-706 E. 112th STREET

SUBMISSION DATE: MARCH 18, 2016.

ILLINOIS CENTRAL RAILROAD



DIMENSIONED SITE PLAN WITH LANDSCAPE

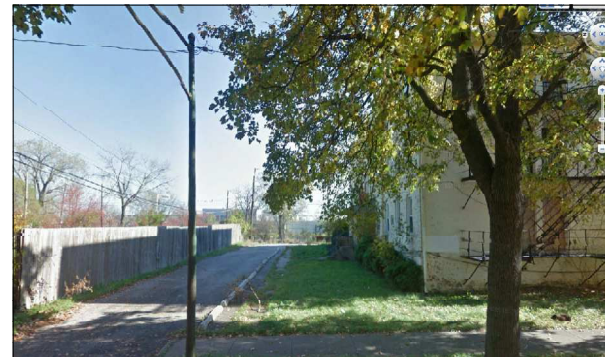
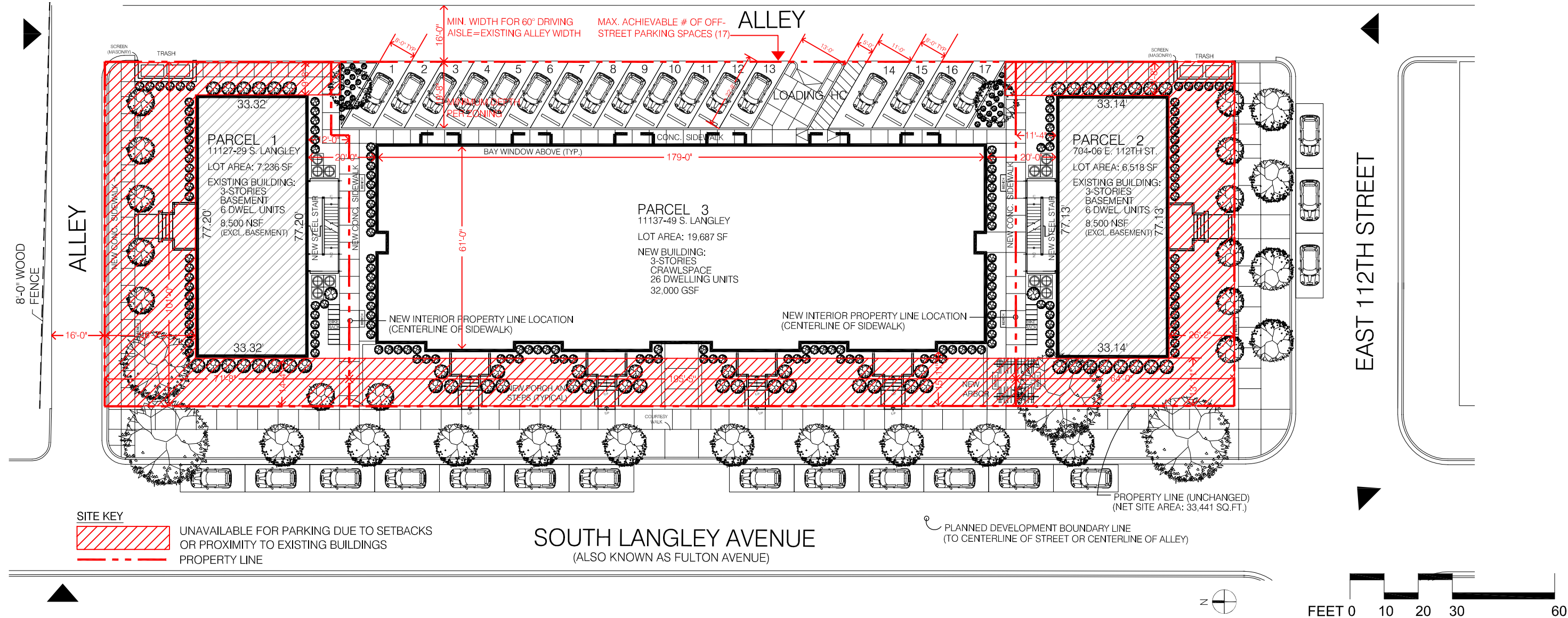


WEST (LANGLEY AVENUE) ELEVATION

DIMENSIONED SITE PLAN WITH ELEVATION (FOR REFERENCE)

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ILLINOIS CENTRAL RAILROAD

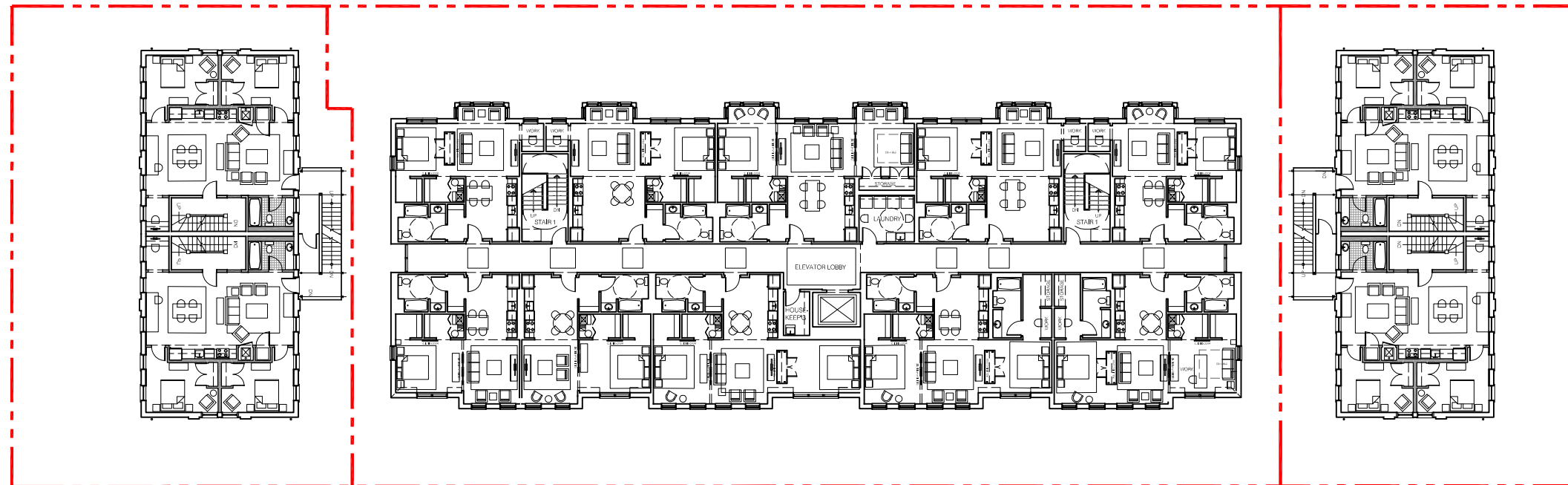


PART 2 SUBMISSION TO ILLINOIS STATE HISTORIC PRESERVATION OFFICE.

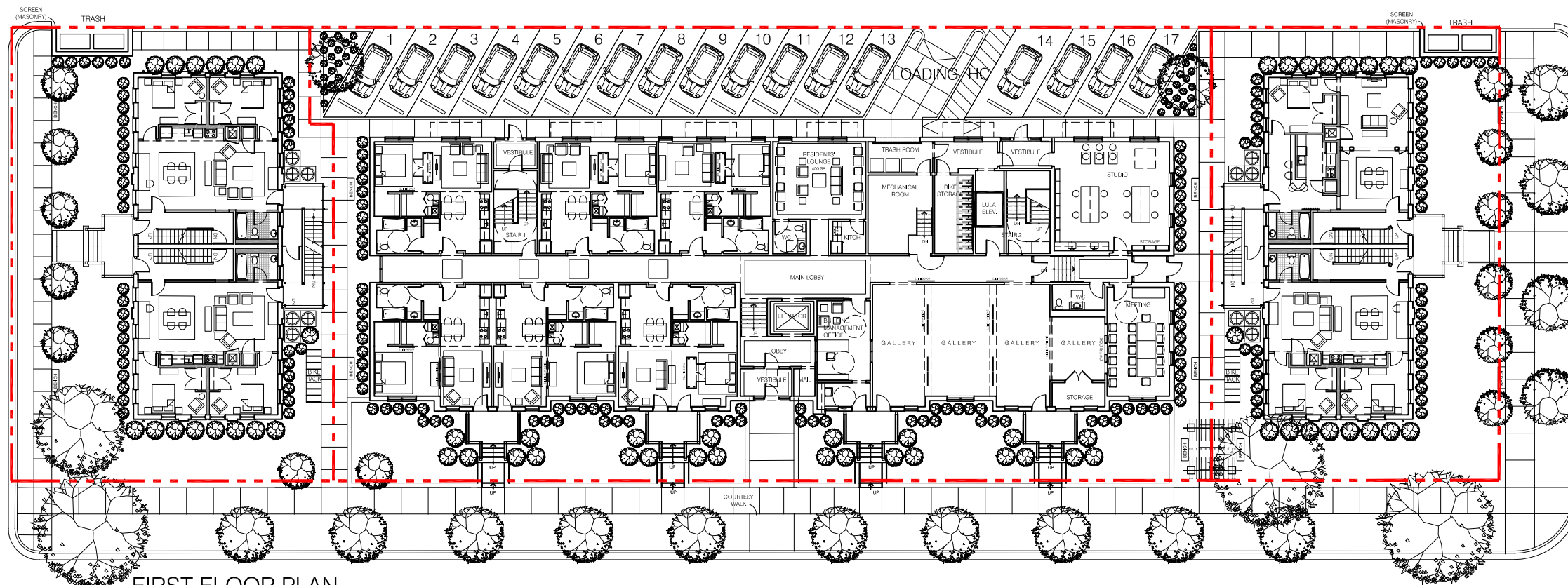
PULLMAN ARTSPACE LOFTS, CHICAGO, ILLINOIS

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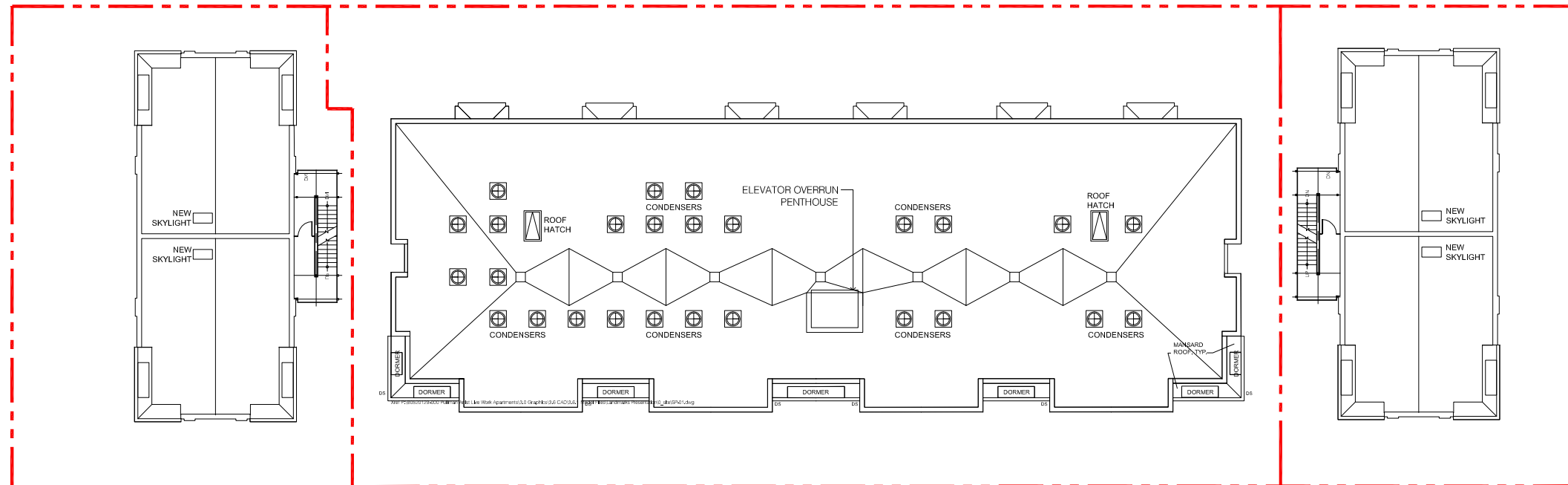
SECOND FLOOR PLAN



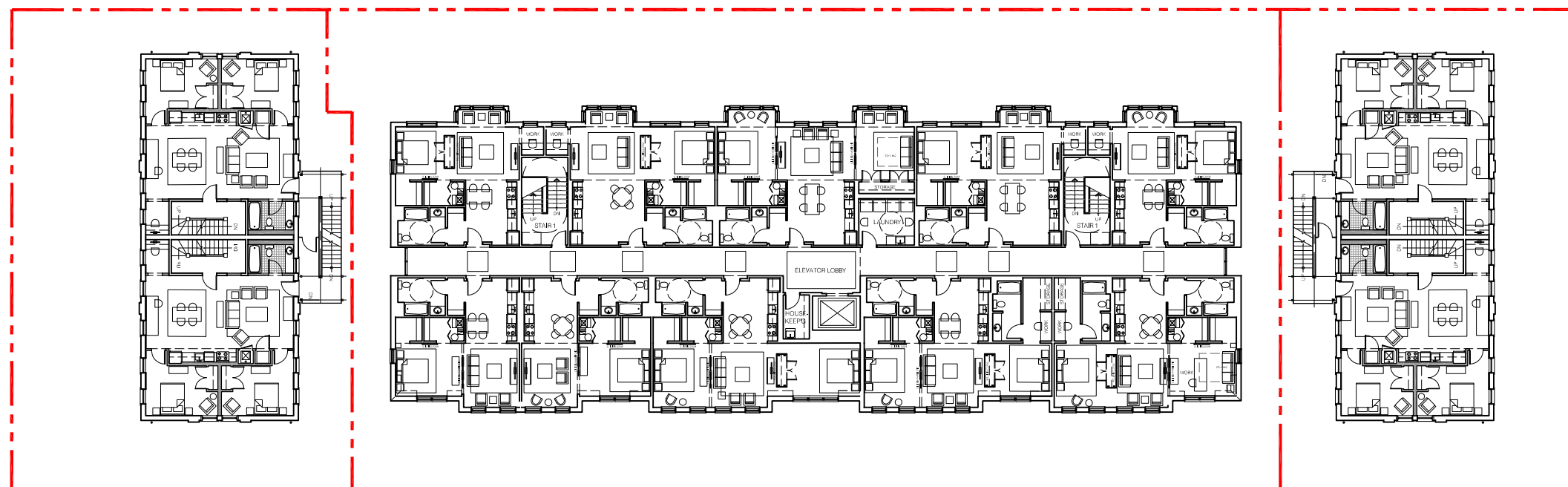
FIRST FLOOR PLAN

BUILDING PLANS

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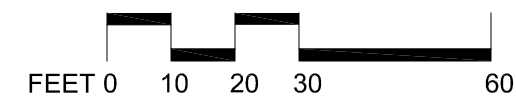
ROOF PLAN



THIRD FLOOR PLAN

BUILDING PLANS

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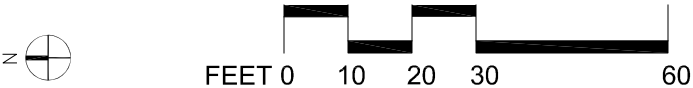
PULLMAN ARTIST LIVE WORK APARTMENTS - PLANT MATERIAL PALETTE

BOTANICAL NAME	COMMON NAME	SIZE
GRASS PARKWAY TREES		
OSTRYA VIRGINIANA*	HOPHORNBEAM	4" CAL.
PLATANUS OCCIDENTALIS*	AMERICAN SYCAMORE	4" CAL.
QUERCUS BICOLOR*	SWAMP WHITE OAK	4" CAL.
LANDSCAPED PARKING ISLANDS		
CATALPA SPECIOSA*	NORTHERN CATALPA	4" CAL.
LIQUIDAMBAR STYRACIFLUA 'MORaine'*	MORaine SWEETGUM	4" CAL.
TAXODIUM DISTICHUM *	BALD CYPRESS	4" CAL.
SHADE TREES		
G.EDITSIA TRIACANTHOS INERMIS 'SKYLINE'*	SKYLINE HONEYLOCUST	4" CAL.
TILIA AMERICANA 'REDMOND'*	REDMOND LINDEN	4" CAL.
ORNAMENTAL TREES		
ACER RUBRUM 'RED SUNSET'*	RED SUNSET RED MAPLE	4" CAL.
AMELANCHIER X GRANDIFLORA*	APPLE SERVICEBERRY	4" CAL.
CRATAEGUS VIRIDIS 'WINTER KING'*	WINTER KING HAWTHORN	8' HGT.
QUERCUS ALBA X ROBUR	CRIMSCHMIDT ENGLISH OAK	10'HGT.
DECIDUOUS AND EVERGREEN SHRUBS		
BUXUS X WINTERGREEN	BOXWOOD	5 GAL.
CORNUS SERICEA*	'ALLEMAN'S DWARF' DOGWOOD	5 GAL.
HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HYDRANGEA	5 GAL.
ITEA 'LITTLE HENRY'*	VIRGINIA SWEETSPIRE	5 GAL.
ROSA 'DRIFT PINK'	SHRUB ROSE	3 GAL.
PERENNIALS AND ORNAMENTAL GRASSES		
ALLIUM 'SUMMER BEAUTY'	ALLIUM	1 GAL.
CALAMINTHA NEPETA NEPETA	CALAMINTH	1 GAL.
CHASMANTHIUM LATIFOLIUM*	NORTHERN SEA OATS	2 GAL.
RUDBECKIA HIRTA*	BLACKEYED SUSAN	1 GAL.
SALVIA VERTICILLATA 'PURPLE RAIN'	SALVIA	1 GAL.
SESLARIA AUTUMNALIS*	AUTUMN MOOR GRASS	2 GAL.
SPOROBOLUS HETEROLEPIS*	PRAIRIE DROPSEED	2 GAL.
VINES AND GROUNDCOVER		
CAREX 'ICE DANCE'	ICE DANCE SEDGE	1 GAL.
CLEMATIS TERNIFOLIA*	SWEET AUTUMN CLEMATIS	1 GAL.
PARTHENOCCISSUS QUINQUEFOLIA*	VIRGINIA CREEPER	1 GAL.

* DENOTES A NATIVE OR DROUGHT TOLERANT PLANT.

LANDSCAPE MATERIAL PALETTE

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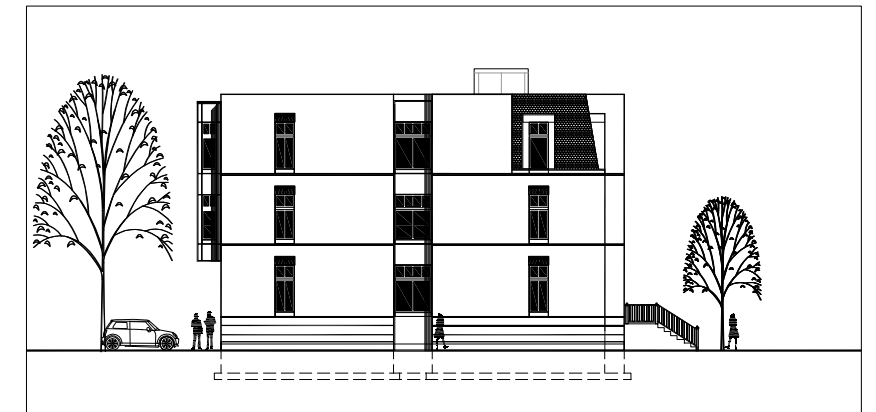
WEST (LANGLEY AVENUE) ELEVATION



SOUTH ELEVATION, NEW BUILDING



EAST (ALLEY) ELEVATION



NORTH ELEVATION, NEW BUILDING



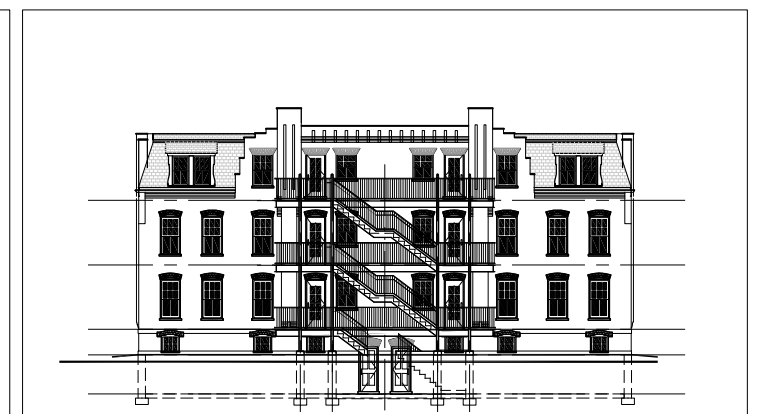
NORTH BUILDING, NORTH ELEVATION



NORTH BUILDING, SOUTH ELEVATION



SOUTH BUILDING, SOUTH ELEVATION



SOUTH BUILDING, NORTH ELEVATION

ELEVATIONS

PART 2 SUBMISSION TO ILLINOIS STATE HISTORIC PRESERVATION OFFICE.
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 ADDRESS: 11127-29 S. LANGLEY AVENUE, 11137-49 S. LANGLEY AVENUE, 704-706 E. 112th STREET
 SUBMISSION DATE: MARCH 18, 2016.

FEET 0 10 20 30 60

North Building				
Unit Number	Unit Type			Net Square Footage
	Studio	1 Bedroom	2 Bedroom	
1			x	1,068
2			x	1,068
3			x	1,115
4			x	1,115
5			x	1,155
6			x	1,155
Subtotal	0	0	6	6,676

New Building				
Unit Number	Unit Type			Net Square Footage
	Studio	1 Bedroom	2 Bedroom	
1		x		748
2		x		770
3		x		792
4	x			672
5	x			700
6	x			712
7		x		750
8		x		768
9			x	1,010
10			x	1,134
11			x	1,112
12		x		788
13		x		890
14			x	1,054
15		x		890
16		x		784
17		x		750
18		x		770
19			x	1,010
20			x	1,134
21			x	1,112
22		x		788
23		x		892
24			x	1,056
25		x		890
26		x		785
Subtotal	3	15	8	22,761

South Building				
Unit Number	Unit Type			Net Square Footage
	Studio	1 Bedroom	2 Bedroom	
1			x	1,068
2		x		1,068
3			x	1,115
4			x	1,115
5			x	1,155
6			x	1,155
Subtotal	0	1	5	6,676

Pullman Artspace Lofts				
	Unit Type			Net Square Footage
	Studio	1 Bedroom	2 Bedroom	
GRAND TOTAL	3	16	19	36,113
Parking	17 spaces			

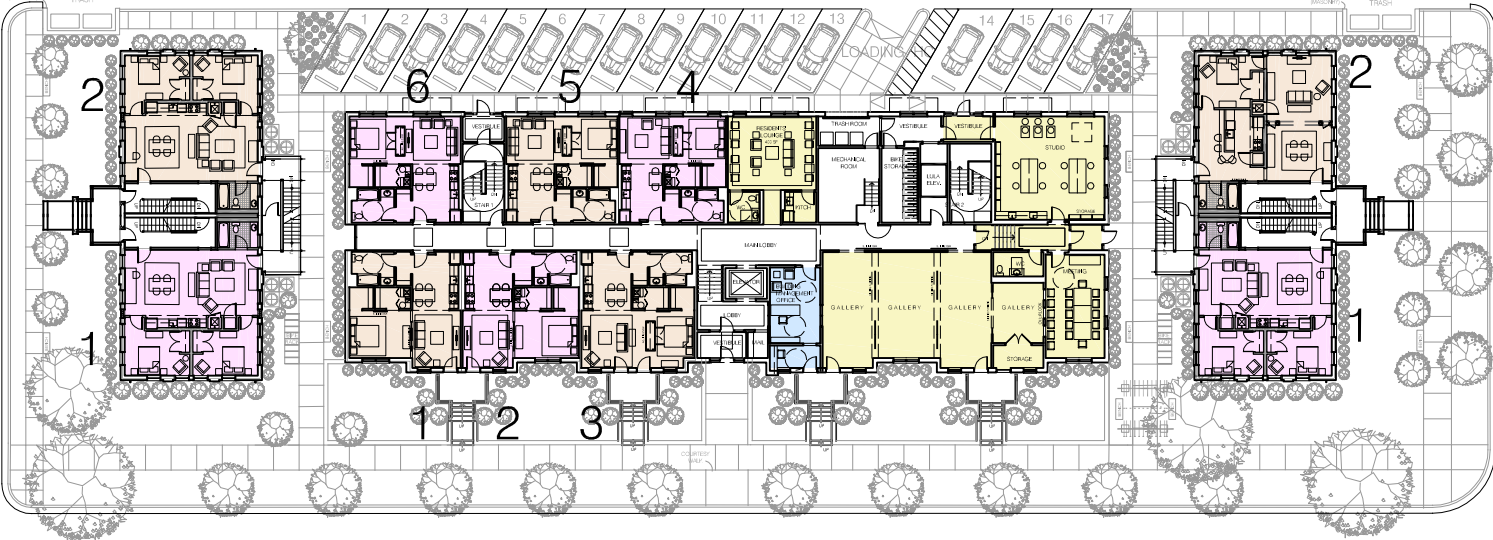
THIRD FLOOR PLAN



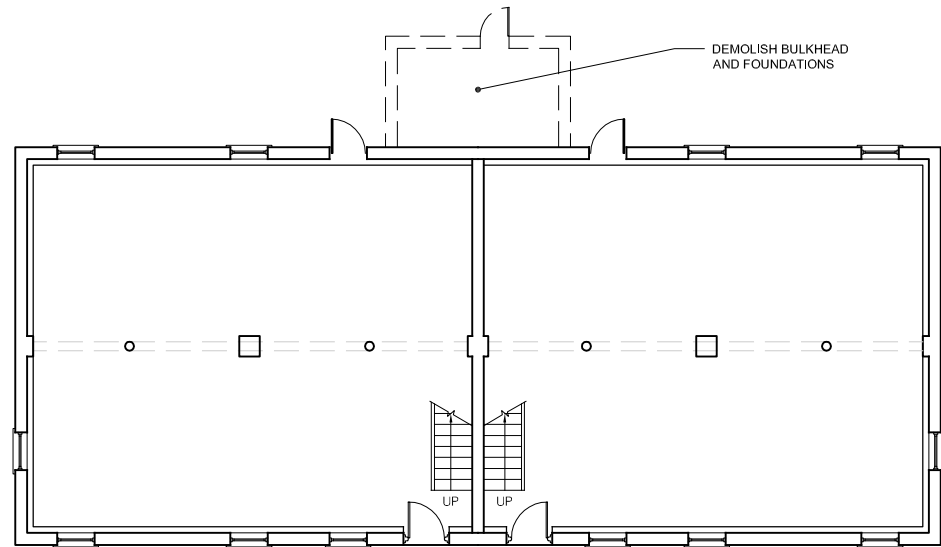
SECOND FLOOR PLAN



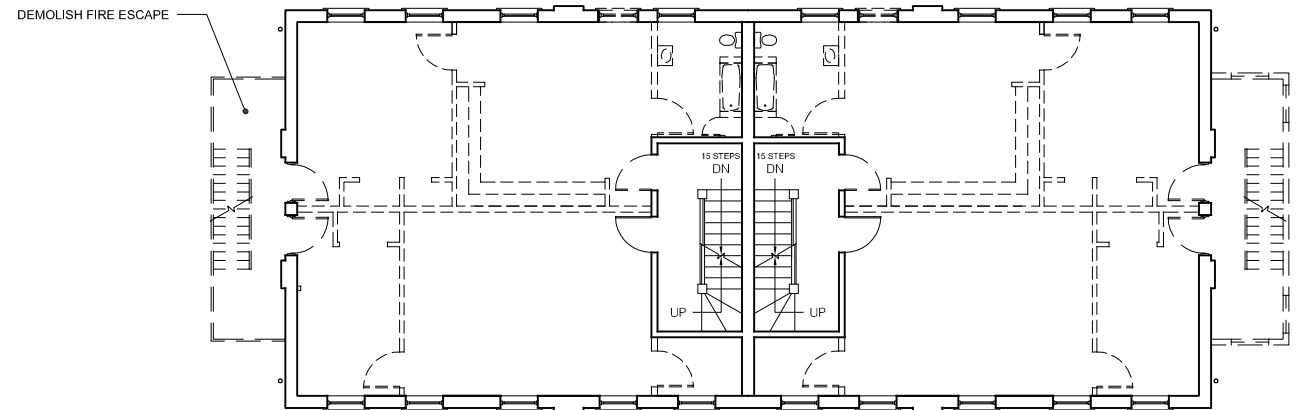
FIRST FLOOR PLAN



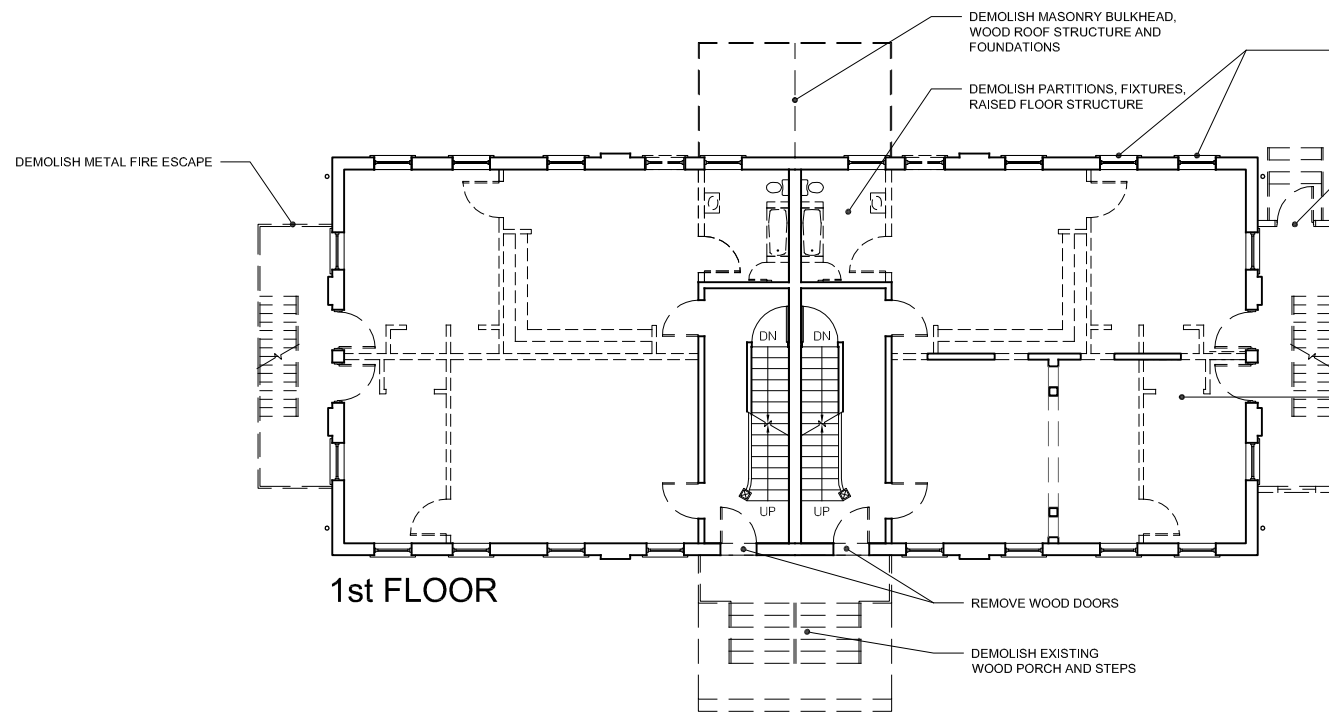
UNIT MIX AND SQUARE FOOTAGE DATA



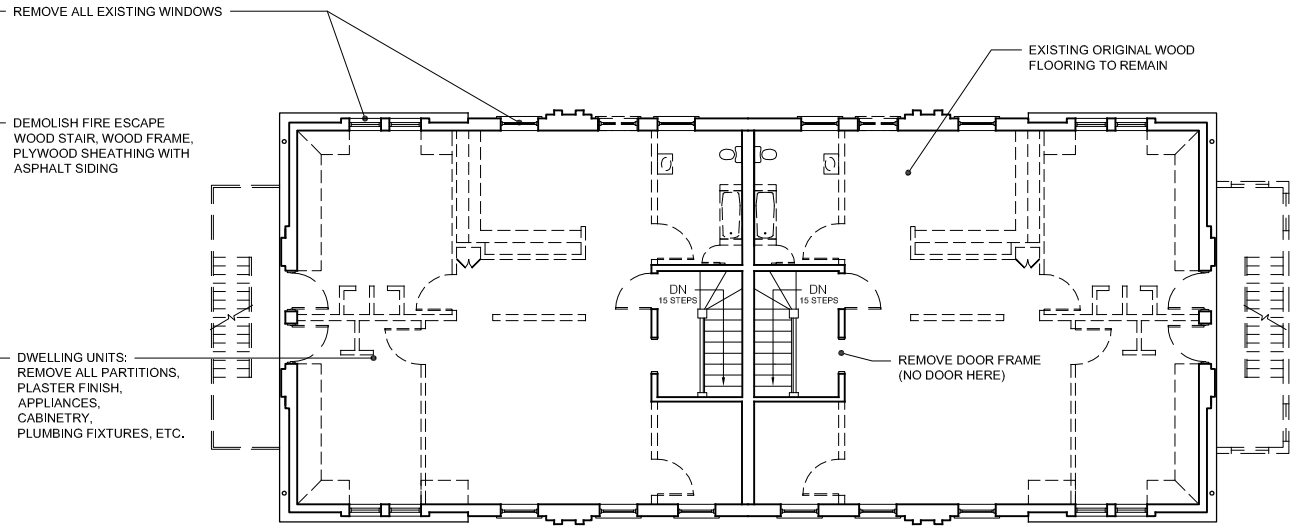
BASEMENT



2nd FLOOR

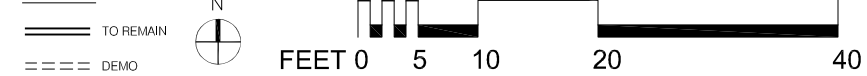


1st FLOOR

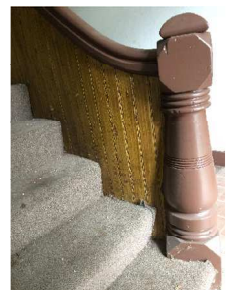


3rd FLOOR

KEY



EAST STAIR



EAST STAIR



ENTRANCE DETAIL



WEST STAIR



SECOND FLOOR STAIR



THIRD FLOOR STAIR



1920s ERA MILLWORK TO BE RESTORED



SECOND FLOOR UNIT (TYPICAL)



THIRD FLOOR UNIT (TYPICAL)



BASEMENT (TYPICAL)

SOUTH BUILDING INTERIOR DEMOLITION PLANS

PART 2 SUBMISSION TO ILLINOIS STATE HISTORIC PRESERVATION OFFICE.

PULLMAN ARTSPACE LOFTS, CHICAGO, ILLINOIS

ADDRESS: 11127-29 S. LANGLEY AVENUE, 11137-49 S. LANGLEY AVENUE, 704-706 E. 112th STREET

SUBMISSION DATE: MARCH 18, 2016.



SOUTH AND WEST SIDES



WEST ELEVATION



NORTH SIDE



BULK HEAD (TO BE DEMOLISHED)



NORTH AND EAST SIDES

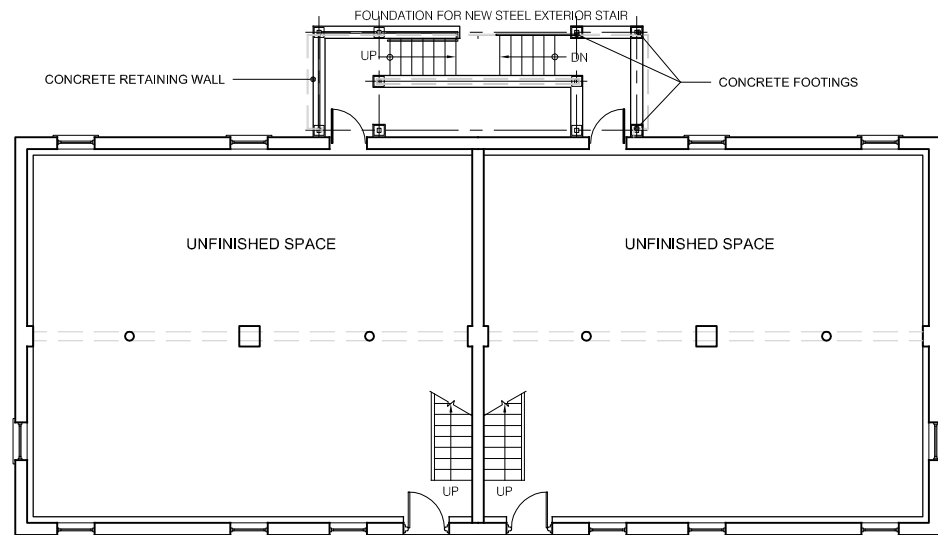


EAST ELEVATION

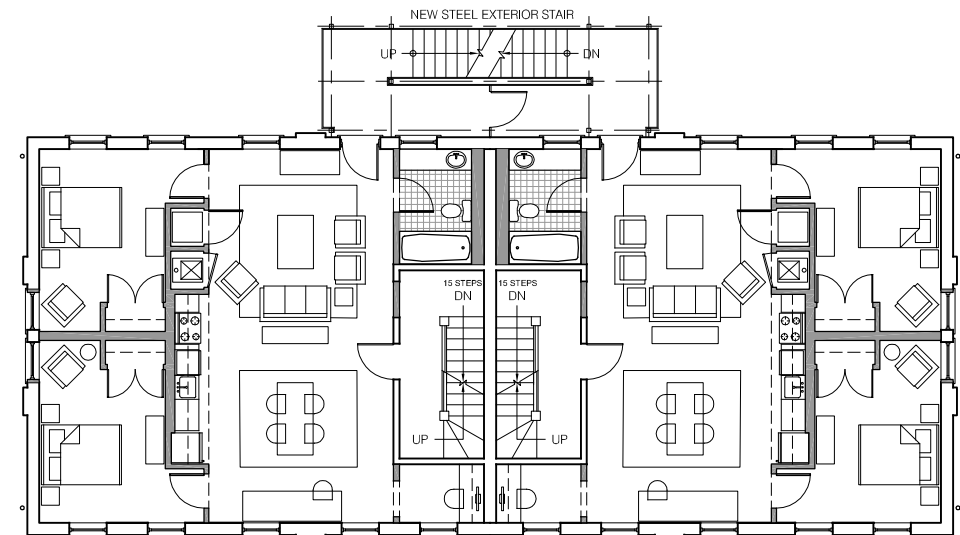
SOUTH BUILDING EXTERIOR DEMOLITION ELEVATIONS

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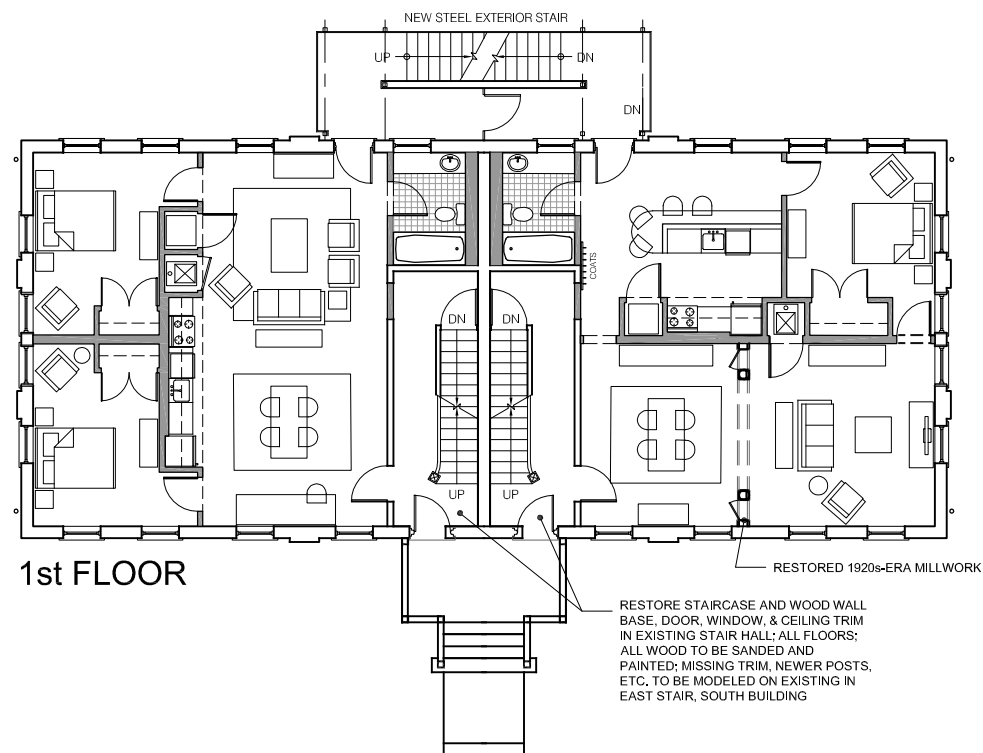




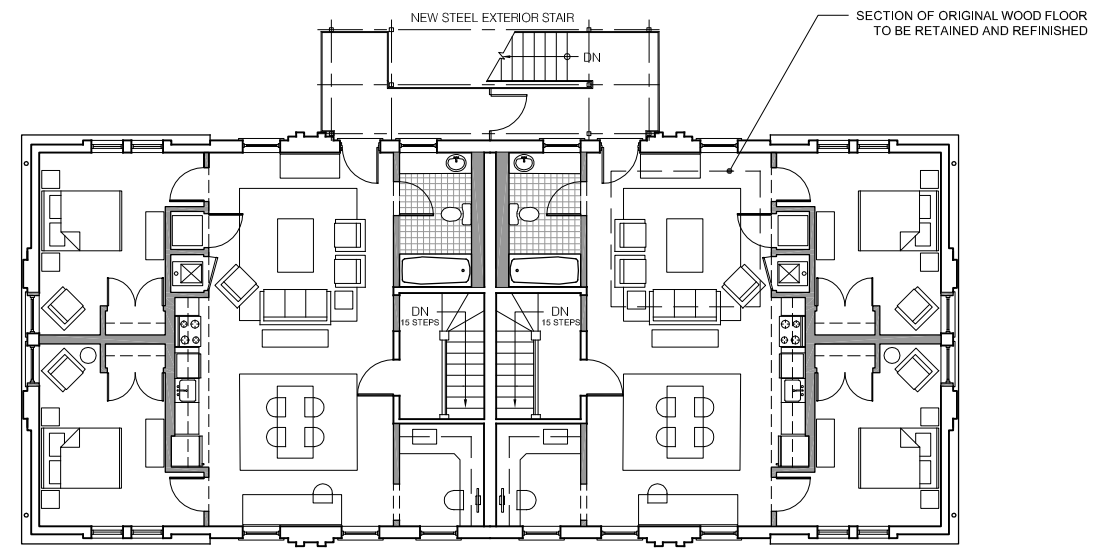
BASEMENT



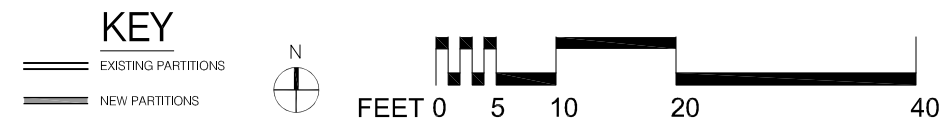
2nd FLOOR



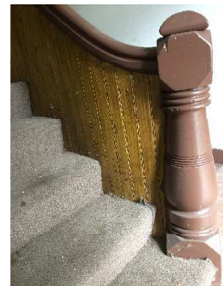
1st FLOOR



3rd FLOOR



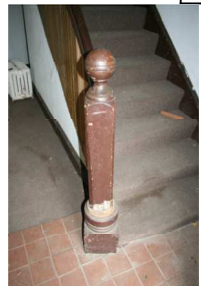
EAST STAIR



EAST STAIR



ENTRANCE DETAIL



WEST STAIR



SECOND FLOOR STAIR



THIRD FLOOR STAIR



1920s ERA MILLWORK TO BE RESTORED



SECOND FLOOR UNIT (TYPICAL)



THIRD FLOOR UNIT (TYPICAL)



BASEMENT (TYPICAL)

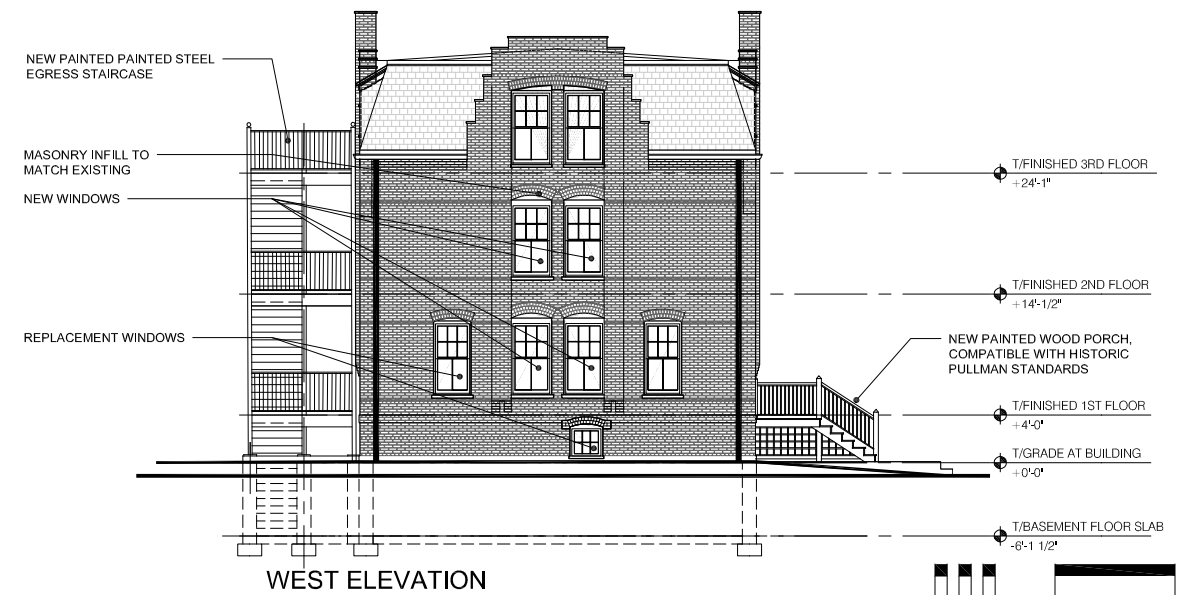
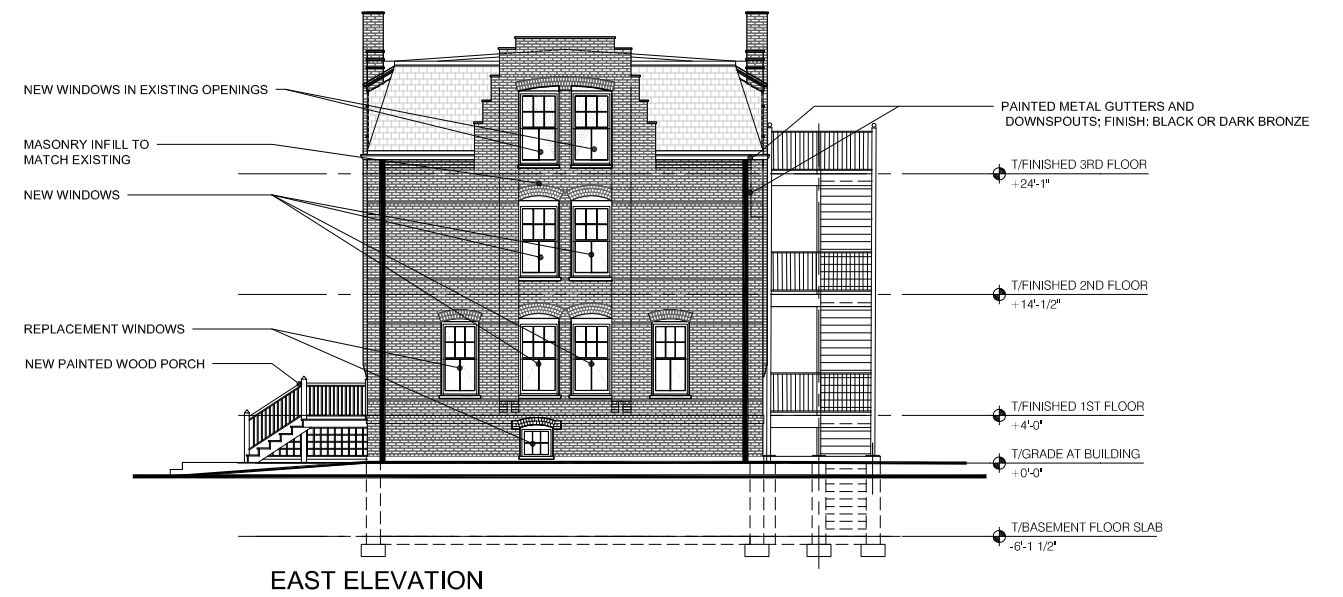
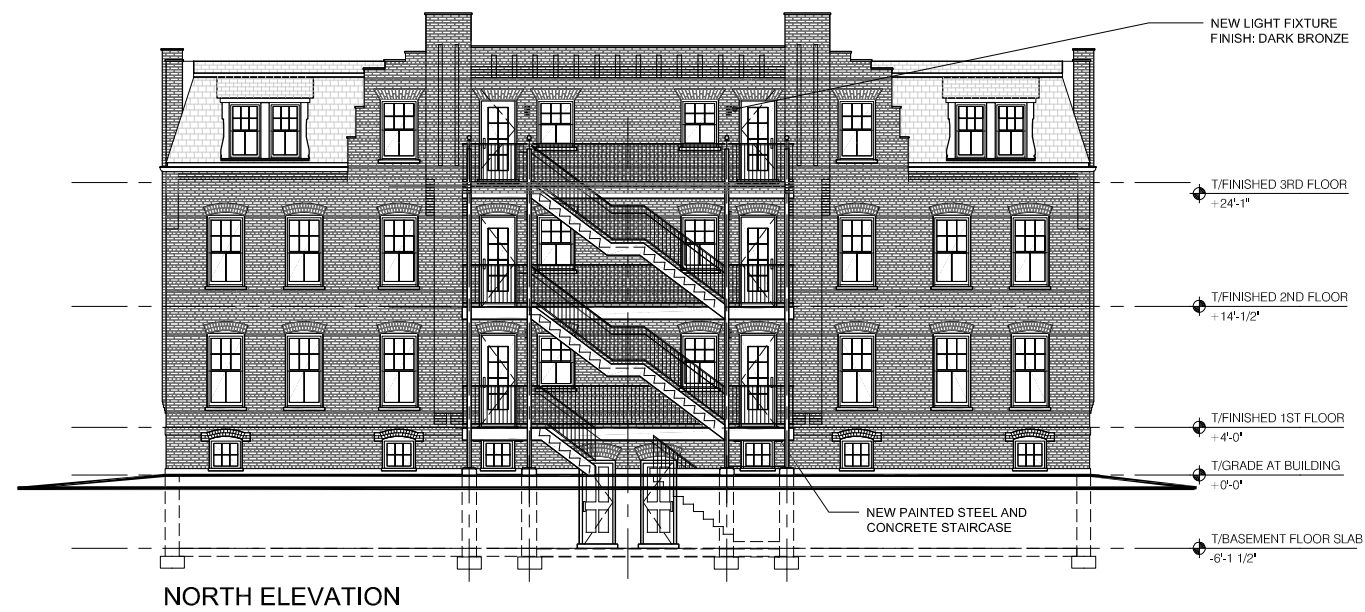
SOUTH BUILDING FLOOR PLANS (PROPOSED)

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SOUTH AND WEST SIDES



WEST ELEVATION



NORTH SIDE



BULK HEAD DETAIL



NORTH AND EAST SIDES



EAST ELEVATION

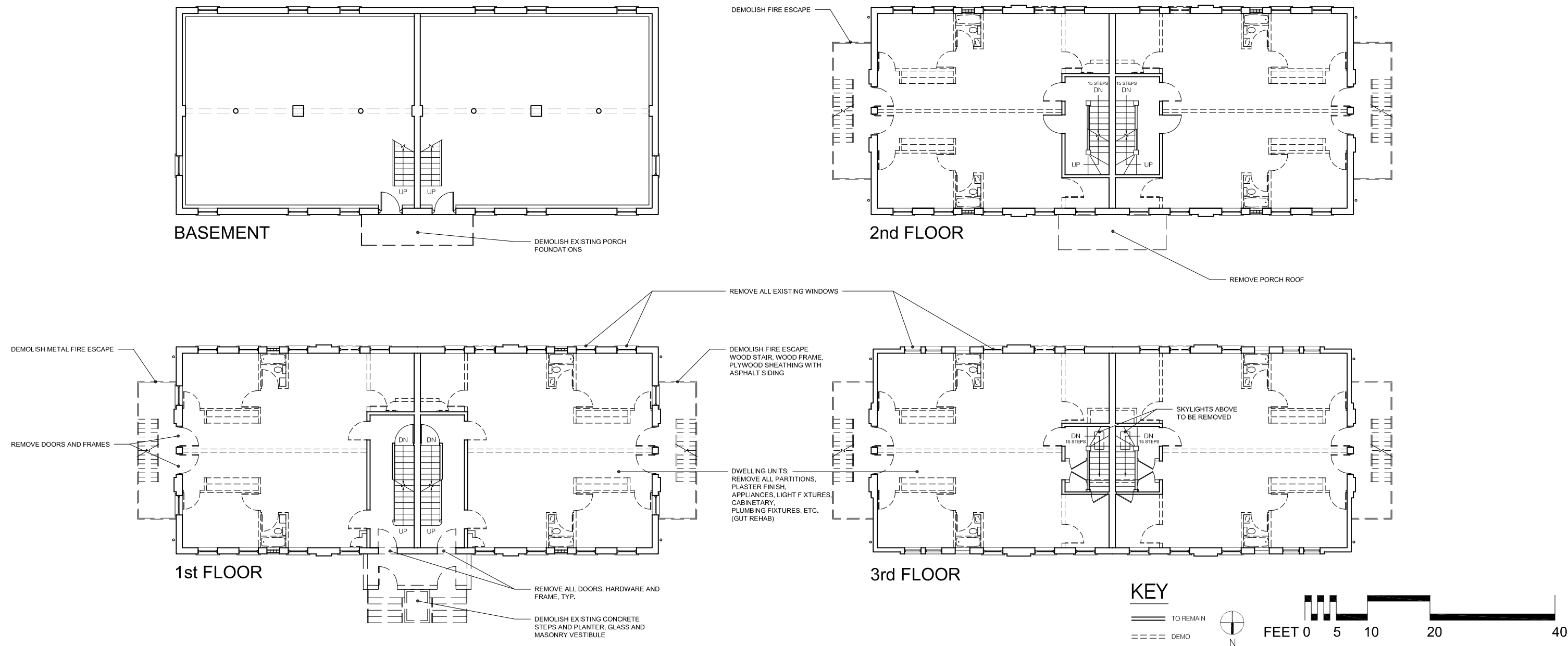
SOUTH BUILDING EXTERIOR ELEVATIONS (PROPOSED)

PART 2 SUBMISSION TO ILLINOIS STATE HISTORIC PRESERVATION OFFICE.

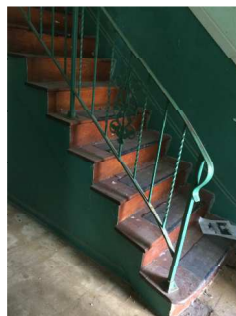
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WEST STAIR



EAST STAIR



TYPICAL UNIT



TYPICAL UNIT



THIRD FLOOR UNIT (TYPICAL)



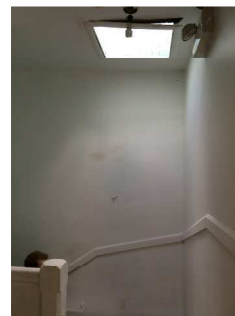
THIRD FLOOR UNIT (TYPICAL)



BASEMENT (TYPICAL)



BASEMENT (TYPICAL)



TOP OF INTERIOR STAIR

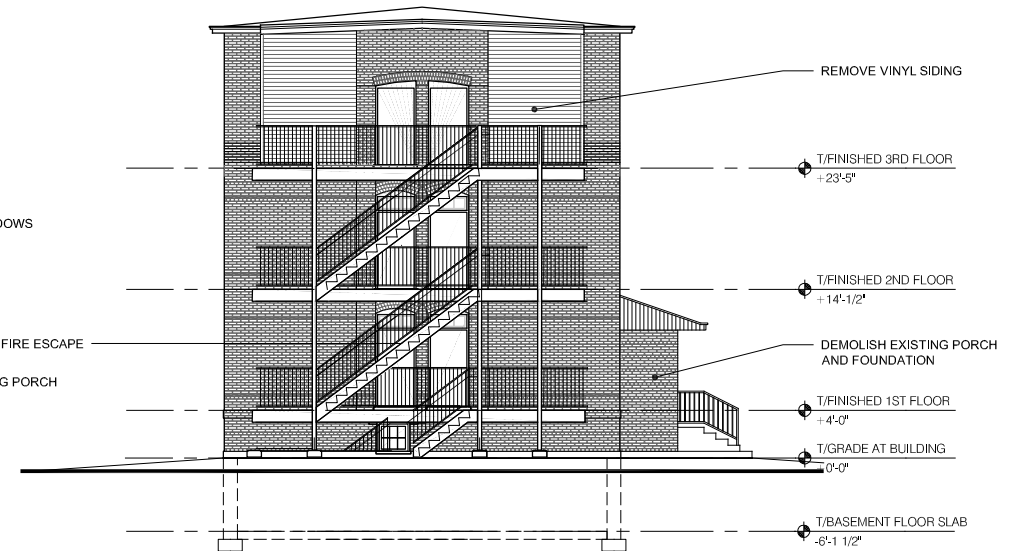
NORTH BUILDING INTERIOR DEMOLITION PLANS

PART 2 SUBMISSION TO ILLINOIS STATE HISTORIC PRESERVATION OFFICE.
 PULLMAN ARTSPACE LOFTS, CHICAGO, ILLINOIS
 ADDRESS: 11127-29 S. LANGLEY AVENUE, 11137-49 S. LANGLEY AVENUE, 704-706 E. 112th STREET
 SUBMISSION DATE: MARCH 18, 2016.

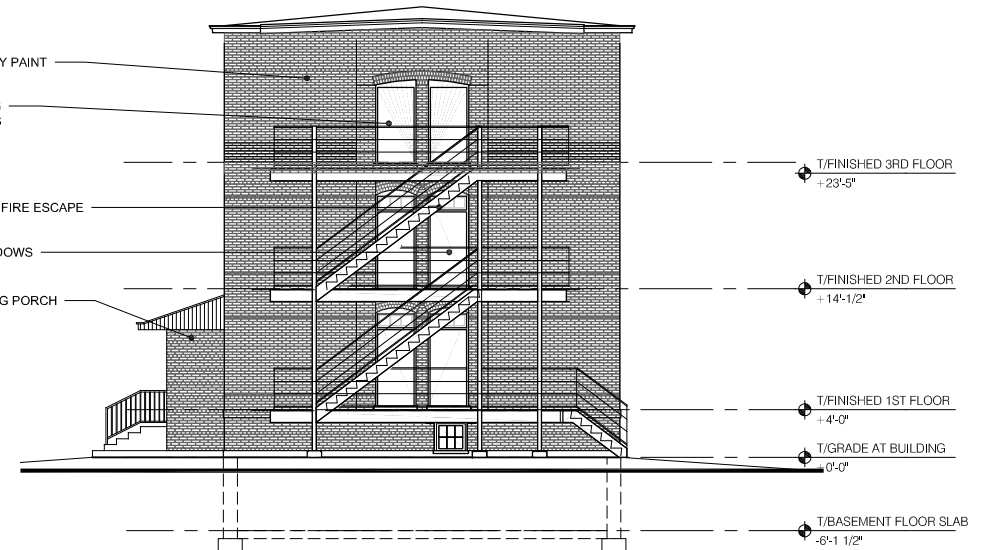


SOUTH ELEVATION

NOTE: WINDOWS AND DOORS TO BE REMOVED ARE NON-HISTORIC REPLACEMENT WINDOWS AND DOORS IN ORIGINAL OPENINGS (EXCEPT GLASS BLOCK)



EAST ELEVATION



WEST ELEVATION



NORTH AND WEST SIDES



ENTRANCE DETAIL



WEST ELEVATION



SOUTH ELEVATION



NORTH AND EAST SIDES



NORTHWEST CORNER DETAIL

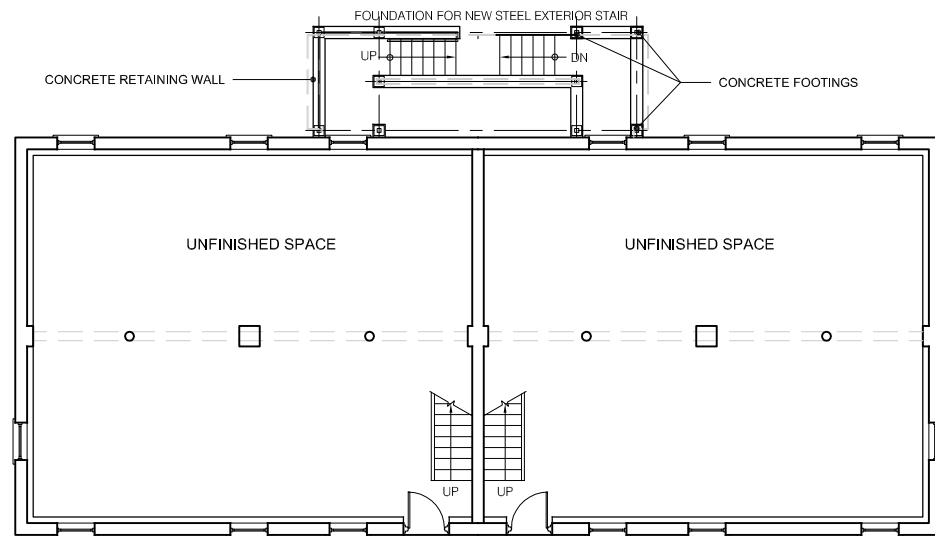
NORTH BUILDING EXTERIOR DEMOLITION ELEVATIONS

PART 2 SUBMISSION TO ILLINOIS STATE HISTORIC PRESERVATION OFFICE.

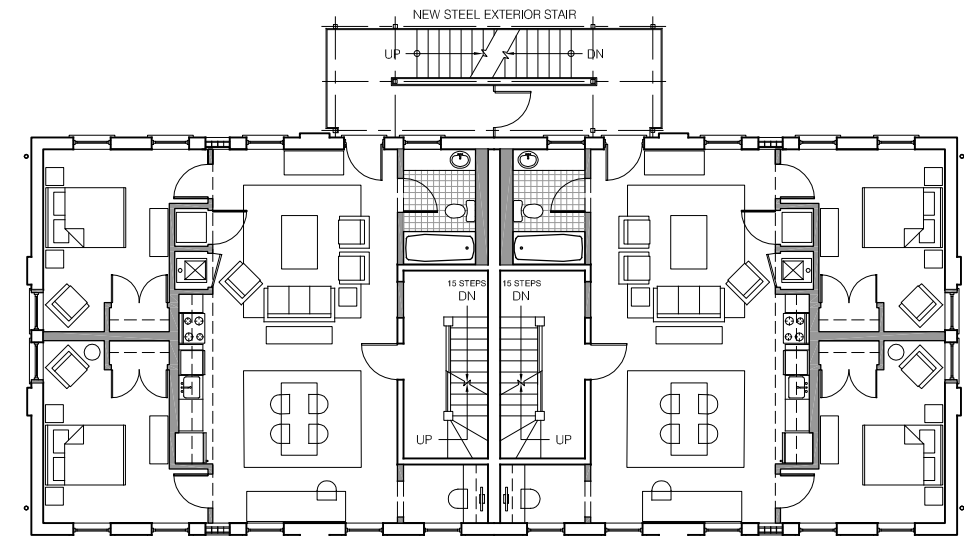
PULLMAN ARTSPACE LOFTS, CHICAGO, ILLINOIS

ADDRESS: 11127-29 S. LANGLEY AVENUE, 11137-49 S. LANGLEY AVENUE, 704-706 E. 112th STREET

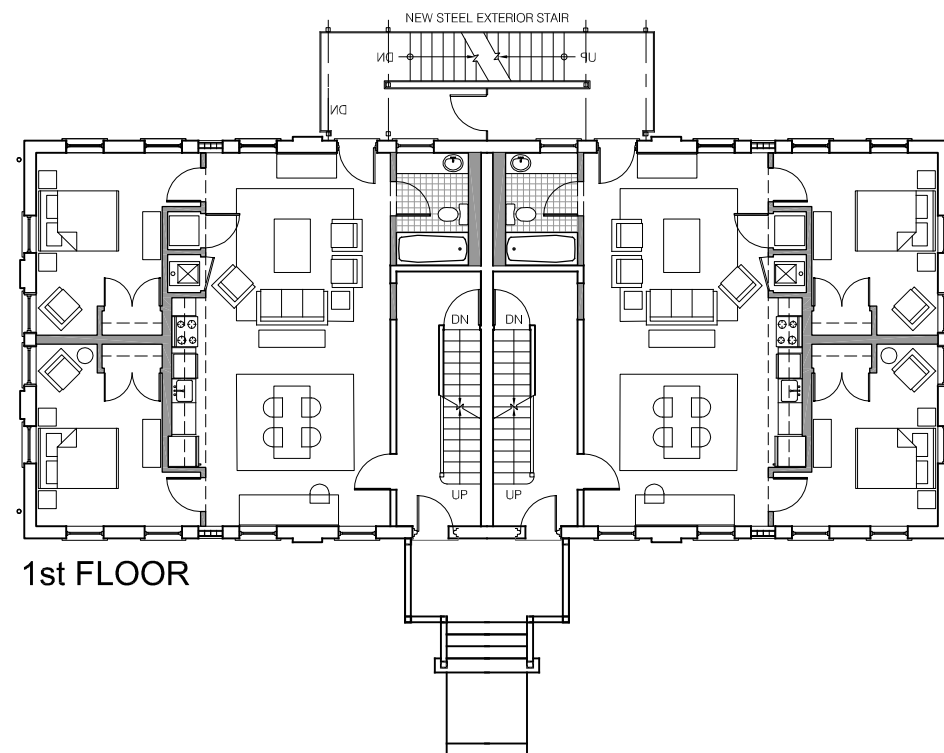
SUBMISSION DATE: MARCH 18, 2016.



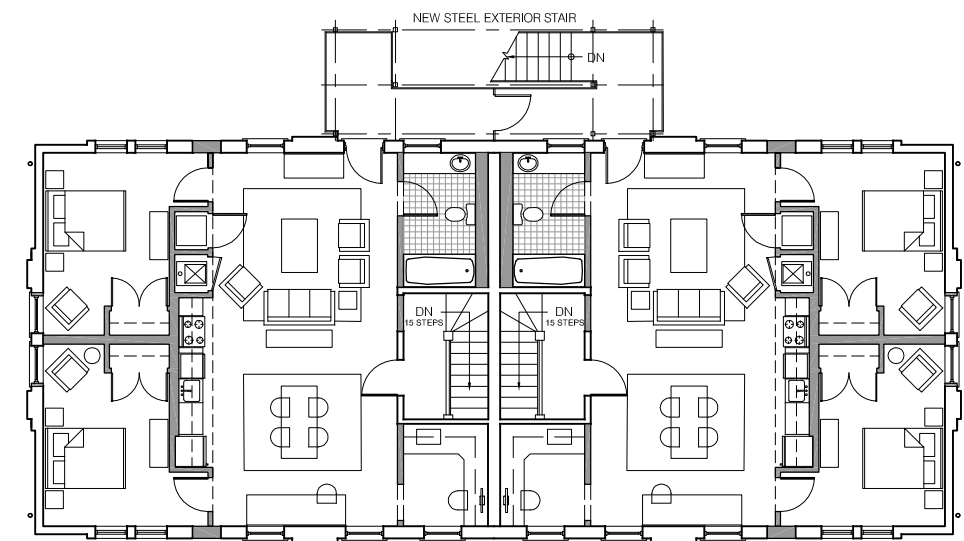
BASEMENT



2nd FLOOR



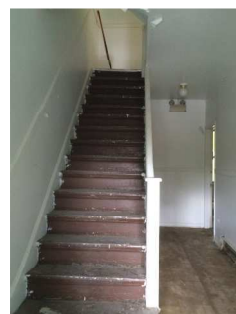
1st FLOOR



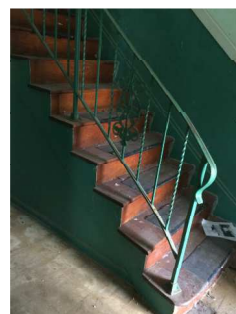
3rd FLOOR

KEY

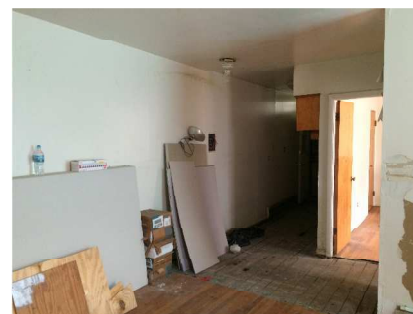
- EXISTING PARTITIONS
- NEW PARTITIONS



WEST STAIR



EAST STAIR



TYPICAL UNIT



TYPICAL UNIT



THIRD FLOOR UNIT (TYPICAL)



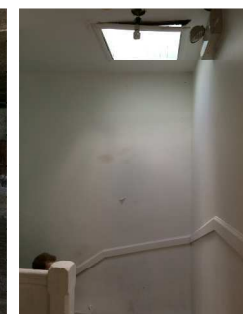
THIRD FLOOR UNIT (TYPICAL)



BASEMENT (TYPICAL)



BASEMENT (TYPICAL)



TOP OF INTERIOR STAIR

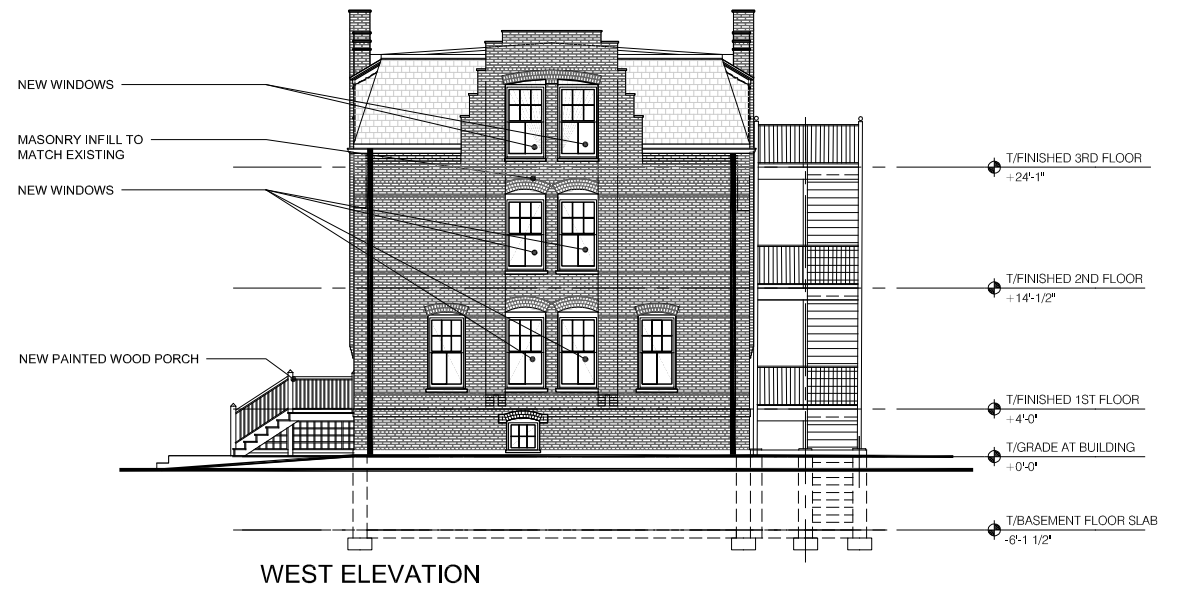
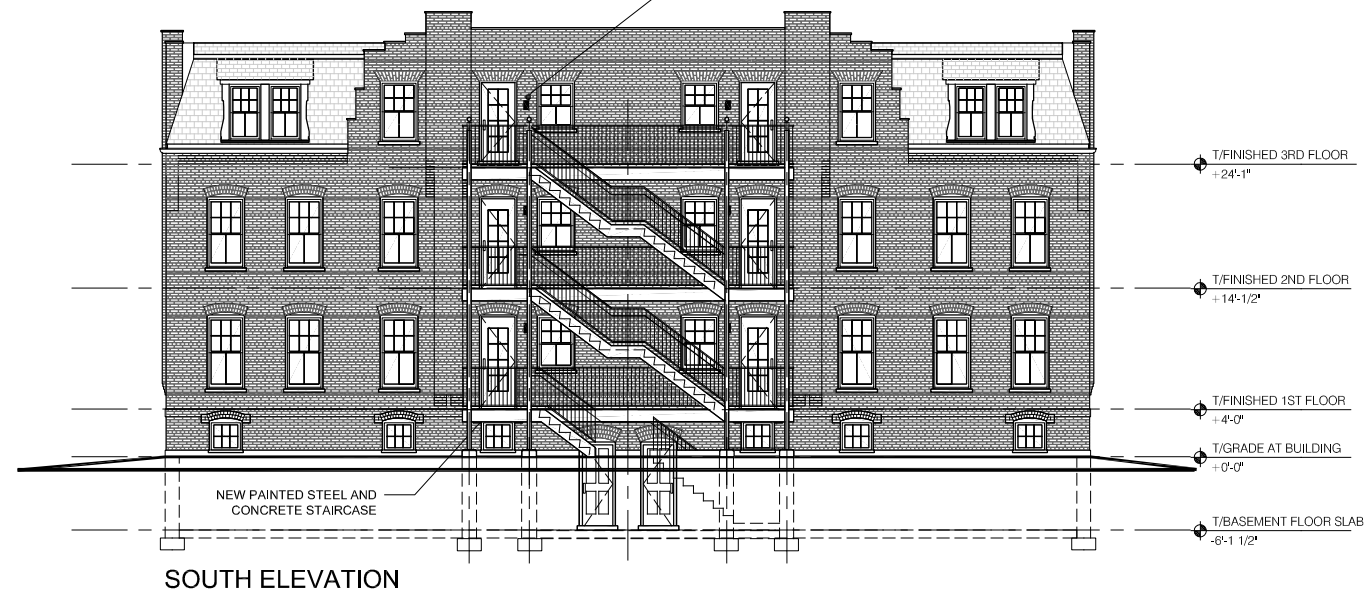
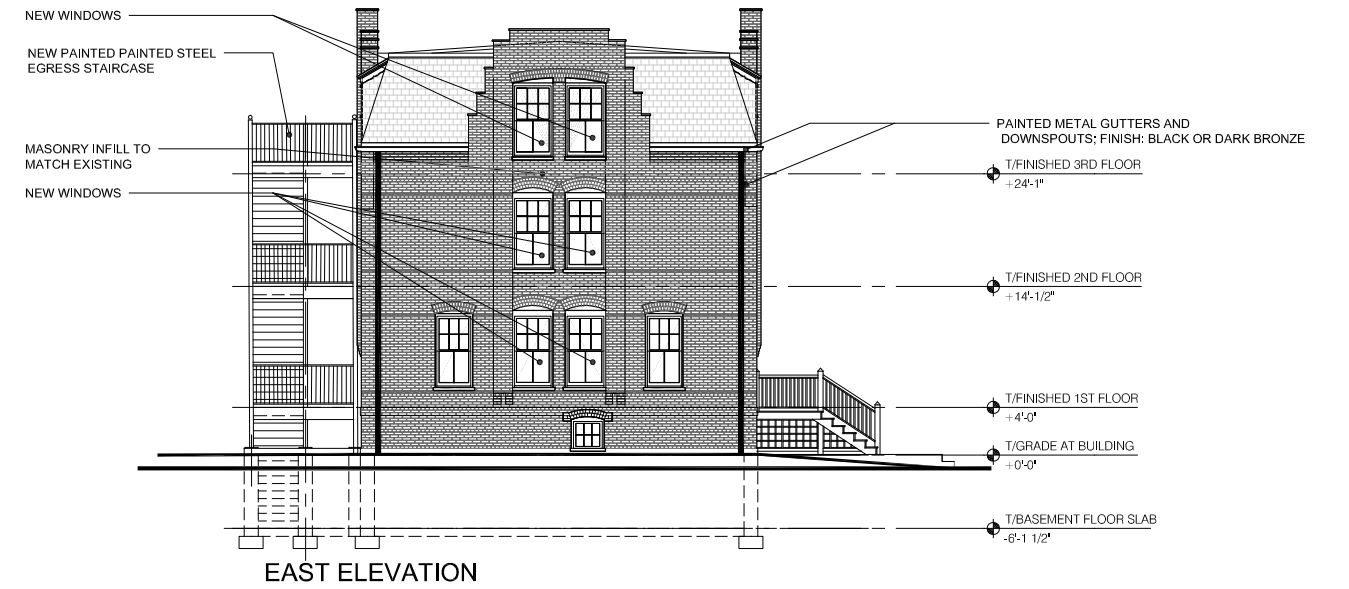
NORTH BUILDING FLOOR PLANS (PROPOSED)

PART 2 SUBMISSION TO ILLINOIS STATE HISTORIC PRESERVATION OFFICE.

PULLMAN ARTSPACE LOFTS, CHICAGO, ILLINOIS

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SUBMISSION DATE: MARCH 18, 2016.



NORTH AND WEST SIDES



ENTRANCE DETAIL



WEST ELEVATION



SOUTH ELEVATION



NORTH AND EAST SIDES



NORTHWEST CORNER DETAIL

NORTH BUILDING EXTERIOR ELEVATIONS (PROPOSED)

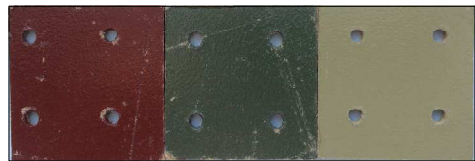


PART 2 SUBMISSION TO ILLINOIS STATE HISTORIC PRESERVATION OFFICE.

PULLMAN ARTSPACE LOFTS, CHICAGO, ILLINOIS

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SUBMISSION DATE: MARCH 18, 2016.



PULLMAN
RED

PULLMAN
DARK GREEN

PULLMAN
LIGHT GREEN



Existing Buildings Exterior Materials Notes
SOUTH BUILDING (Existing) 704-706 East 112th Street

It is the intention of the developer to repair the existing exterior enclosure of the South Building following information below derived from the **Homeowner Gulde Pullman Historic District (HGPHD)**, issued by **The Beman Committee of the Pullman Civic Organization** dated February 2013.

Pullman Preservation Brief #1: PULLMAN PAINT COLORS

The following paint color strategy for aluminum window cladding and wood construction (doors, porches, etc.) will be applied to the South Building:

- Window brick mold - Pullman Dark Green
- Window sashes - Pullman Red or manufacturer's standard color if acceptably close to Pullman standard
- Door brick mold - Pullman Dark Green
- Doors - Pullman Red
- Decorative wooden features (front porch) - Pullman Dark Green
- Metal dormer roofs, masonry roof caps, gutters, downspouts, fascia boards and flashing - Pullman Dark Green or manufacturer's standard color if acceptably close to Pullman standard
- Metal dormer cladding - Pullman Light Green or manufacturer's standard color if acceptably close to Pullman standard
- Windows must be painted or have a non-anodized paint-like finish (i.e., Kynar)
- **NEW EXTERIOR STAIR:** Painted steel stringers, treads+risers, guardrails, handrails - color: Black

Pullman Preservation Brief #2: TUCKPOINTING

- Brick and mortar colors to match existing in profile, texture and finish
- Mortar composition to be Type O (recommended for tuckpointing in Pullman)
- Joint profile to match existing

Pullman Preservation Brief #3: MANSARD ROOFING

Pending approval by the Commission on Chicago Landmarks and the IL State Historic Preservation Office (SHPO), the mansard roofing material will be replaced with **one of the following:**

- Synthetic Slate shingles as described in the HGPHD - color: Charcoal/Dark Grey; samples to be submitted to Hist. Preserv. staff
- Slate-like asphalt shingles as described in the HGPHD - color: Charcoal/Dark Grey; samples to be submitted to Hist. Preserv. staff

Pullman Preservation Brief #4: WINDOW REPLACEMENT

- Replace existing with wood windows with aluminum exterior cladding; new rear exterior doors to be similar
- Replacement double-hung windows with six lites in the upper sash, two lites in the lower sash (as depicted in the drawings)
- Clear insulating low-E glass to meet energy code minimum requirements(VLT at 70% or greater; reflectance less than or equal to 15%)
- Sash rail and muntin bar dimensions per HGPHD; muntin bars: simulated true divided light per HGPHD
- Repair or, if necessary, replace brick molds and paint per Pullman color notes above; Insect screens will not be installed

Pullman Preservation Brief #5: FEATURES THAT DON'T NEED A PERMIT

Satellite dishes, antennas, storm / screen doors at the entrances, fences (other than the trash enclosure shown in the drawings) and window air conditioners are not included in this proposal

Pullman Preservation Brief #6: BRICK AND STONE REPLACEMENT

Existing Chicago Common Brick and limestone sills are intended to be retained as they currently; replacement of any masonry units deemed beyond salvage/repair to be executed with like materials per HGPHD.

Pullman Preservation Brief #7: MASONRY CLEANING AND PAINT REMOVAL

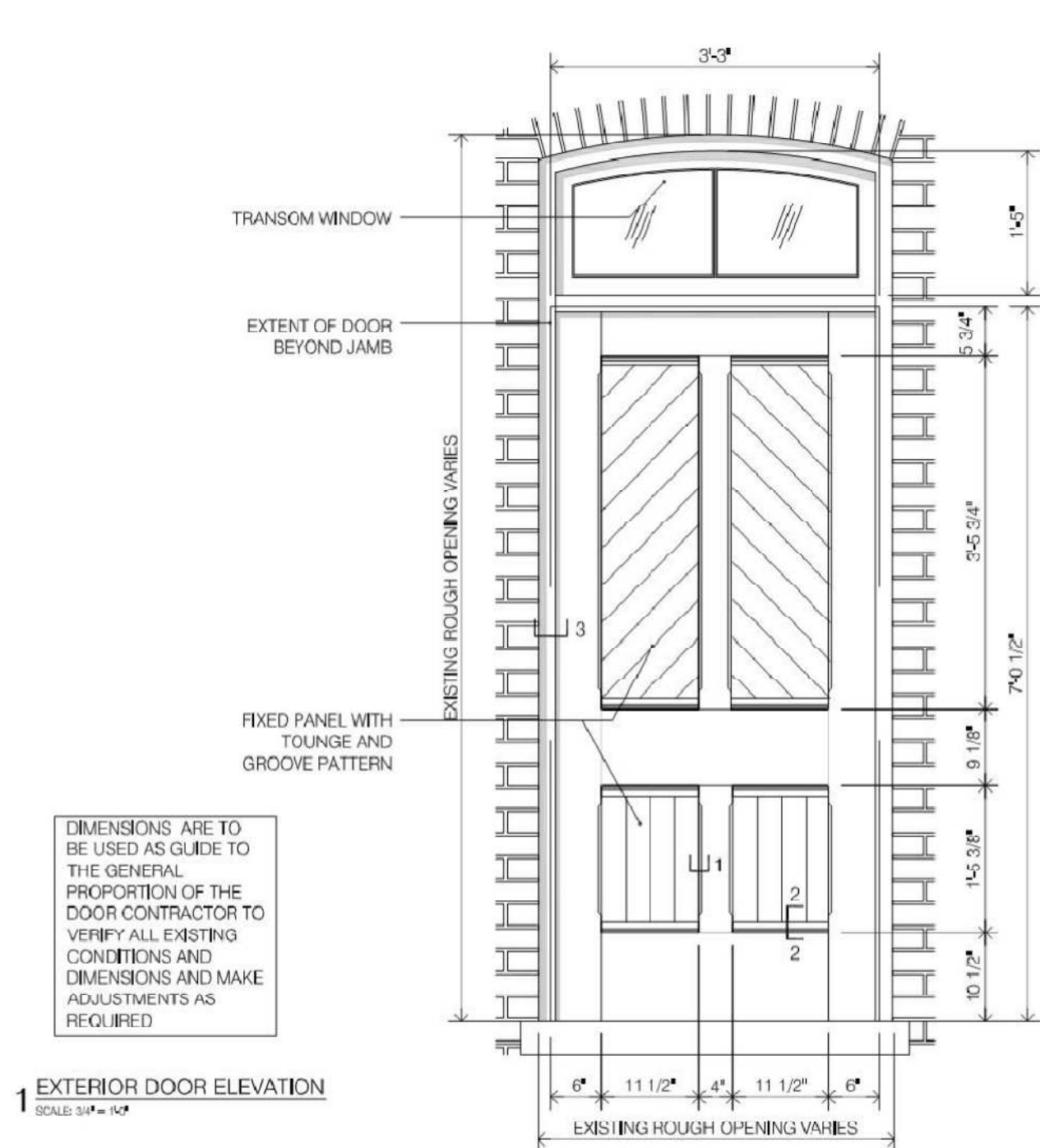
Original Chicago Common Brick to be retained. Cleaning, sealing and/or waterproofing to be completed in the gentlest means possible with approved products per HGPHD (by Prosoco or similar manufacturer). MSDS sheets for chemical products to be submitted to Hist. Preserv.staff.

NORTH BUILDING (Existing) 11127-29 South Langley Avenue

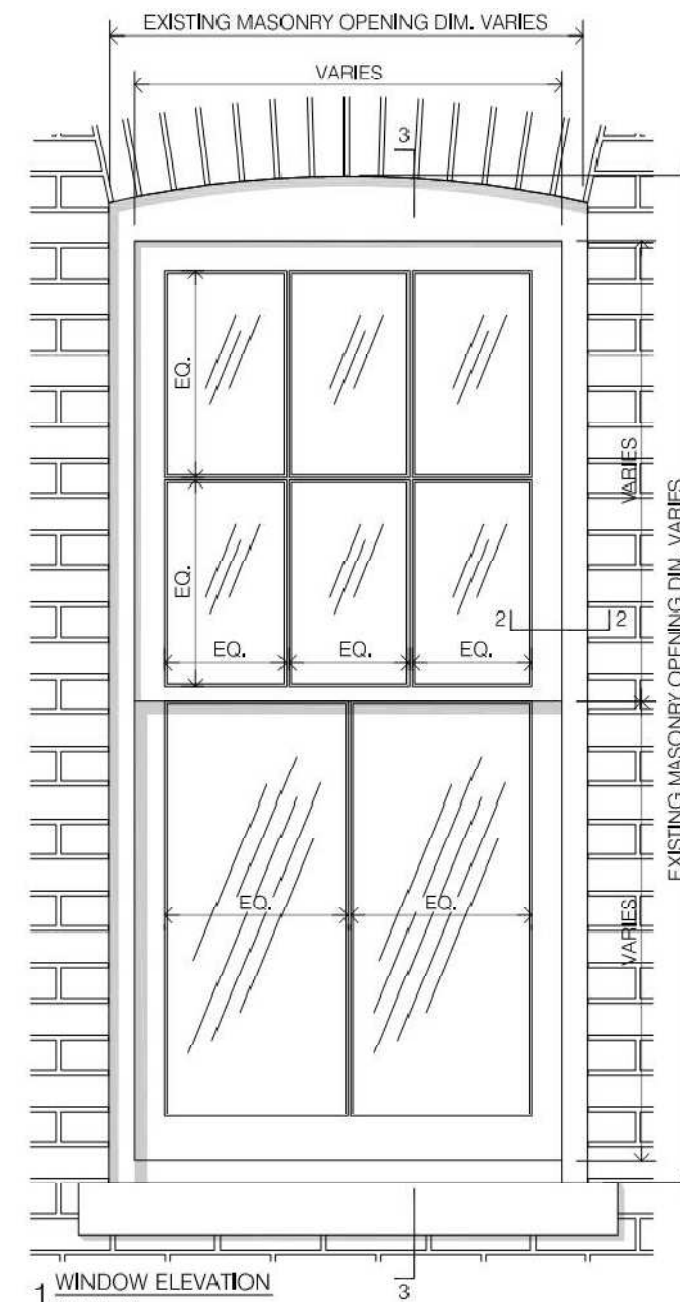
This building's repairs and improvements are all to be similar to the South Building with the following differences:

- Mansard roofs and dormer windows, and associated gutters sand downspouts, to be constructed at the third floor level modeled on the existing conditions at the South Building
- All glass block windows and through wall air conditioners to be removed and infilled with masonry
- Paint to be removed in gentlest manner possible

EXISTING BUILDING MATERIAL INFORMATION / GRAPHICS



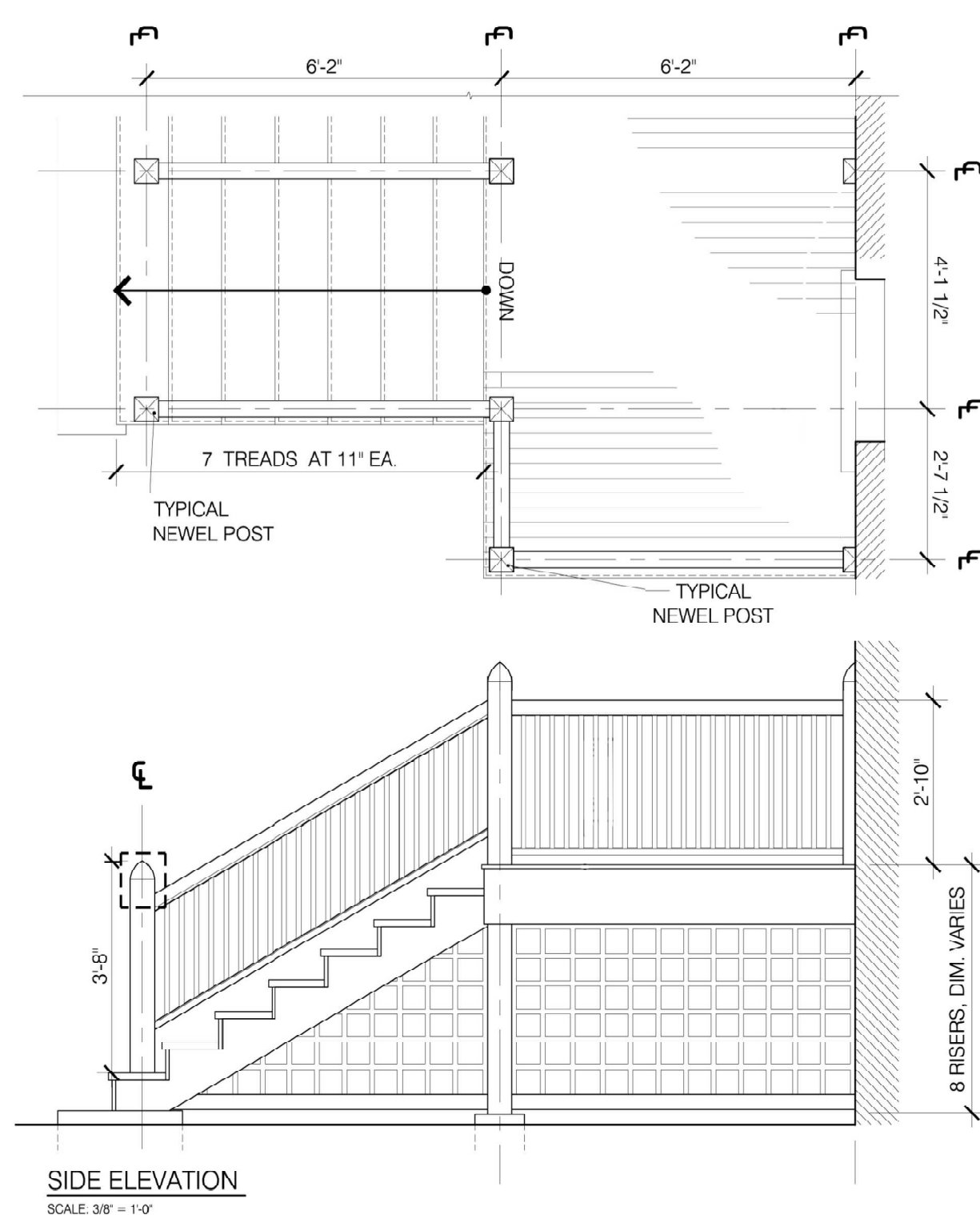
D-22.1



W_6/2A

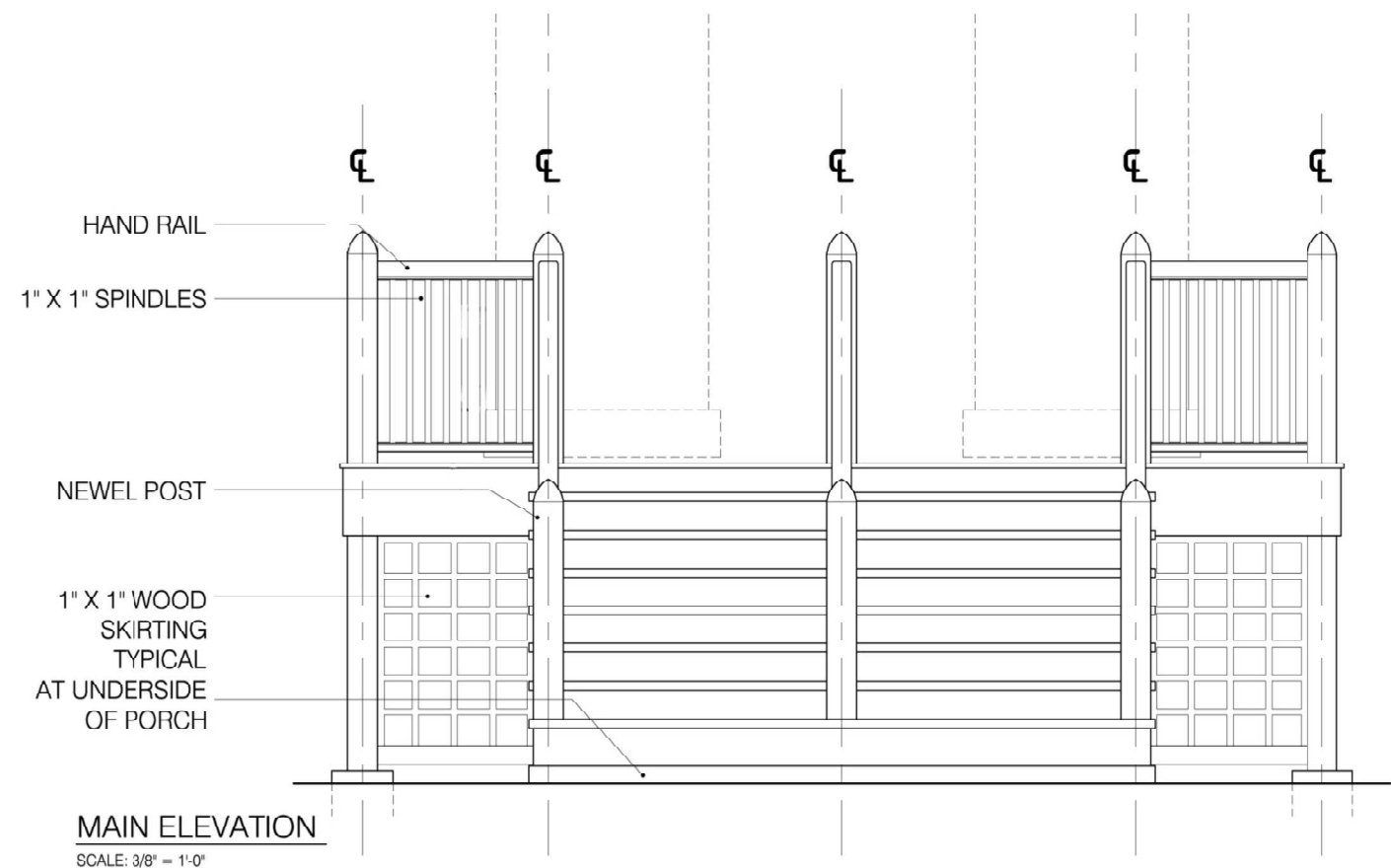
EXISTING BUILDING REPLACEMENT WINDOW AND ENTRANCE DOOR DESIGN INTENT - DETAILS

PART 2 SUBMISSION TO ILLINOIS STATE HISTORIC PRESERVATION OFFICE.
PULLMAN ARTSPACE LOFTS, CHICAGO, ILLINOIS
ADDRESS: 11127-29 S. LANGLEY AVENUE, 11137-49 S. LANGLEY AVENUE, 704-706 E. 112th STREET
SUBMISSION DATE: MARCH 18, 2016.



GENERAL NOTES:

THIS DRAWING ILLUSTRATES THE PERCEIVED ORIGINAL DESIGN INTENT OF THE PORCH TYPE NOTED BELOW, AND IS TO BE REFERENCED ONLY AS A GUIDE IN PREPARATION OF FABRICATION DRAWINGS FOR PORCH REPLACEMENT. VERIFICATION OF ALL EXISTING SITE CONDITIONS, DIMENSIONS AND APPLICABLE CODES IS THE RESPONSIBILITY OF THE FABRICATOR, INSTALLER OR OWNER. ALL PERFORMANCE CRITERIA AND OPERATIONAL CHARACTERISTICS ARE TO BE DETERMINED BY THE OWNER. THIS DRAWING IS NOT FOR CONSTRUCTION.



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EXISTING BUILDING ENTRANCE PORCH DESIGN INTENT - DETAILS

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SUBMISSION DATE: MARCH 18, 2016.



Design Statement: NEW BUILDING and SITE DEVELOPMENT

Response to *Criteria for New Construction, Additions and Alterations to Non-Contributing Buildings*
Article III, Section G5, Chicago Landmark Commission Rules, pp. 39-40.

The new 26-unit building is designed to be contemporary but also to complement the character, scale and material composition of the existing “block houses” at the north and south ends of the development. Like the two existing Pullman historic buildings, it is three stories in height, clad in masonry, with mansard roofs and dormers at the top floor. The masonry is a warm orange color with bands of manganese (charcoal) brick, reminiscent of many Pullman buildings. Punched window heads feature orange brick jack arches topped with the same manganese brick. Window sills, porch steps and porch landings are proposed to be orange architectural precast concrete sections with brick cheek walls and painted steel (charcoal grey) railings and guardrails. The mansard roofing material and dormer cladding (color and texture) are intended to match the material and color of those proposed for the existing building.

The rhythm of the principle (Langley Avenue) façade is modeled on the detached homes on the west side of the block, with four projecting sections relieved by narrower, slightly recessed sections with mansard roofs. The ends also have mansard roofs similar to the adjacent blockhouses. The grade is elevated by approximately 12 inches at the public sidewalk and retained with concrete topped with a low ornamental iron fence (also charcoal grey), a detail also found on the west side of the block. As with homes of generations past, this provides a gracious foreground to the building and lifts the first floor above grade.

The New Building digresses from the block house design in some ways. The floor-to-floor height is higher (11'-4" vs. 10'-0") to give greater ceiling height to the artist residents. The Artspace development model strives to provide live-work artist communities that incorporate features desirable to artists: large windows, high ceilings, and open spaces which increase natural light and spaciousness to enhance in-home studio space for artists to be inspired and create. In the New Building, we want to maximize natural light for the artists within the Pullman-like punched opening window design of the building. The smaller windows of the two existing buildings, particularly on the north-facing sides of the third floors, provide much more limited daylight to live-work spaces. The additional ceiling height inside also will allow artists on any floor to work on large-format paintings and drawings or to set up special lighting and vertical backdrops for portrait photography, to name a few of the things residents can do at other Artspace developments. In the existing buildings, ceiling heights are currently approximately 8'-4" but there is no air conditioning ductwork which will be included in the improvements scope - this may drive ceilings down lower than 8'-4". Some of the common facilities at the south end of the First Floor will be on grade, to add even more ceiling height to these large shared spaces. Precedents in Pullman with taller interior spaces and tall windows include the Landmark Inn on the west side of our block of South Langley, 3-story corner buildings that were originally rooming houses, and the Hotel Florence.

The New Building features a more polished masonry similar to most other homes in Pullman (not Chicago Common Brick), and the casement windows (dark bronze) do not match the historic Pullman operation or colors (the entry doors are intended to be Pullman Light Green, not Pullman Red). The brick, architectural precast and metal porches are also a departure from historic Pullman wood porches. In order to make the building accessible, a central arched entrance on Langley Avenue is provided for access to an elevator that reaches all floor levels. This is in keeping with the sparing use of arches elsewhere in Pullman, typically at special places such as the central market.

The east elevation has a deliberately different, more contemporary character. Cantilevered two-story metal bay windows reach out from the façade to capture additional floor space and offer broader views from the living spaces. The transition from the more Pullman-like west facade on Langley and the east façade is made in the center of the short sides, where recessed windows bring daylight into the corridors on all three floors.

Additional items: At the request of the community, a “marker” identifying the community entrance to the site in the form of an arbor is proposed on Langley Avenue between the New and South Buildings. This garden structure has four masonry columns and a metal trellis that forms a gate for the path to the shared facilities on the ground floor of the New Building. HVAC condensing units for the North and South Buildings are located on grade in discreet locations in the interior of the site and screened by bushes. Outdoor trash enclosures for the existing buildings are to be as low in height as possible to screen trash enclosures and faced with Chicago Common Brick to match the existing North and South Buildings. They are located as remote as possible from view from the North and South Building’s windows.

The massing and the palette of details, materials, textures and colors is intended to balance contemporary and traditional design so that the New Building “does not imitate, but rather complements” the existing treasury of architecture that we know as the Pullman Historic District.

DESIGN STATEMENT



RESIDENTIAL BUILDING WEST OF LANGLEY
(OPPOSITE THE PROJECT)



RESIDENTIAL BUILDING WEST OF LANGLEY
(OPPOSITE THE PROJECT)



RESIDENTIAL BUILDING WEST OF LANGLEY
(OPPOSITE THE PROJECT)



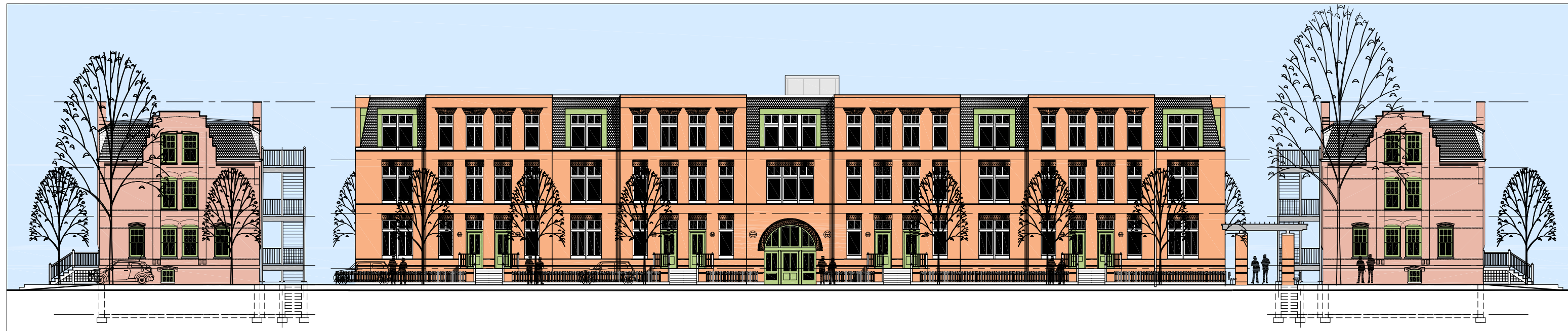
PULLMAN RESIDENTIAL BUILDING
WITH MASONRY ARCHES



RESIDENTIAL BUILDING WEST OF LANGLEY
(OPPOSITE THE PROJECT)



RESIDENTIAL BUILDING WEST OF LANGLEY
(OPPOSITE THE PROJECT)



EXTERIOR DESIGN INFLUENCES: PULLMAN PRECEDENTS

PART 2 SUBMISSION TO ILLINOIS STATE HISTORIC PRESERVATION OFFICE.
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HOTEL FLORENCE : FLOOR TO FLOOR HEIGHT OF FIRST FLOOR APPEARS TO BE 11'-4". FLOOR TO FLOOR DIMENSION IS REDUCED APPROX. 8" ON SECOND AND THIRD FLOORS.



LANDMARK INN, WEST SIDE OF 111TH BLOCK OF SOUTH LANGLEY AVENUE, OPPOSITE THE NORTH BUILDING. NOTE DIFFERENCE IN SCALE COMPARED TO ADJACENT RESIDENTIAL BUILDING.



LANDMARK INN STREET ELEVATION WITH APPROXIMATE FLOOR TO FLOOR HEIGHTS.

- T/RIDGE
+/- 40'-0"
- T/THIRD FLOOR
+/- 27'-2"
- T/SECOND FLOOR
+/- 15'-10"
- T/FIRST FLOOR
+/- 4'-6"
- T/GRADE
0'-0"



614 E. 113TH - ORIGINAL COMMUNITY CENTER WITH APPROXIMATE FLOOR TO FLOOR HEIGHTS

- T/RIDGE
+/- 40'-0"
- T/THIRD FLOOR
+/- 26'-6"
- T/SECOND FLOOR
+/- 15'-10"
- T/FIRST FLOOR
+/- 4'-6"
- T/GRADE
0'-0"



THREE EXAMPLES OF THREE STORY RESIDENTIAL BUILDINGS ON THE 113TH BLOCK OF SOUTH LANGLEY AVENUE

DETAIL OF BUILDING AT LEFT W/ APPROX. VERT. DIMENSIONS

- T/MASONRY PEAK
+/- 37'-0"
- T/THIRD FLOOR
+/- 24'-6"
- T/SECOND FLOOR
+/- 14'-6"
- T/FIRST FLOOR
+/- 4'-6"
- T/GRADE
0'-0"

PULLMAN PRECEDENTS ALL DIMENSIONS ARE APPROXIMATE

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WEST (LANGLEY) PARTIAL ELEVATION



EAST (ALLEY) PARTIAL ELEVATION

NEW BUILDING EXTERIOR DETAIL ELEVATIONS

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PHOTO OF MATERIALS PALETTE

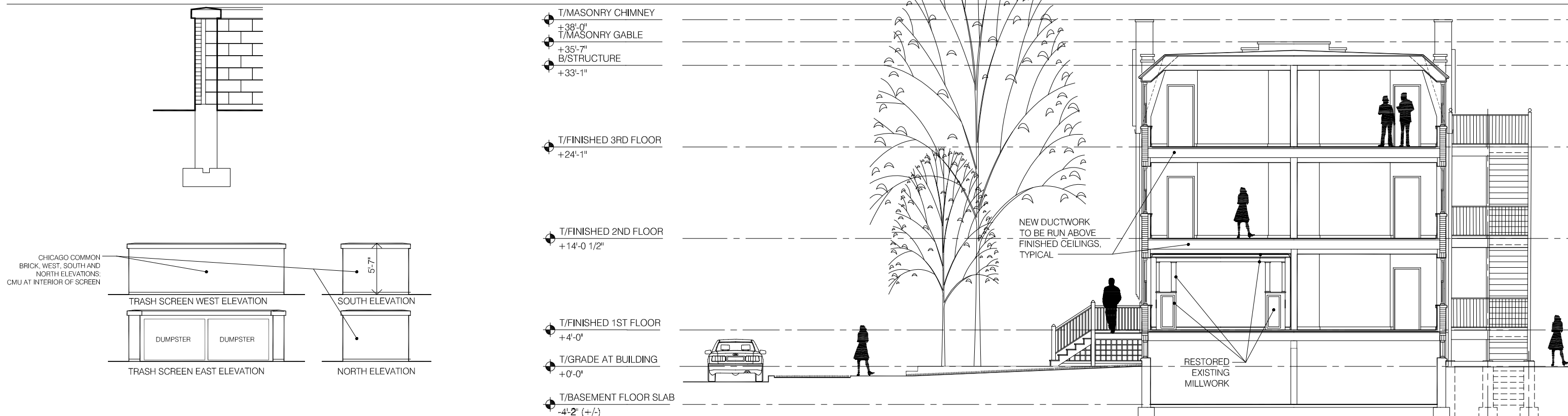


NEW BUILDING MATERIAL INFORMATION / GRAPHICS

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WEST (LANGLEY) PARTIAL ELEVATION

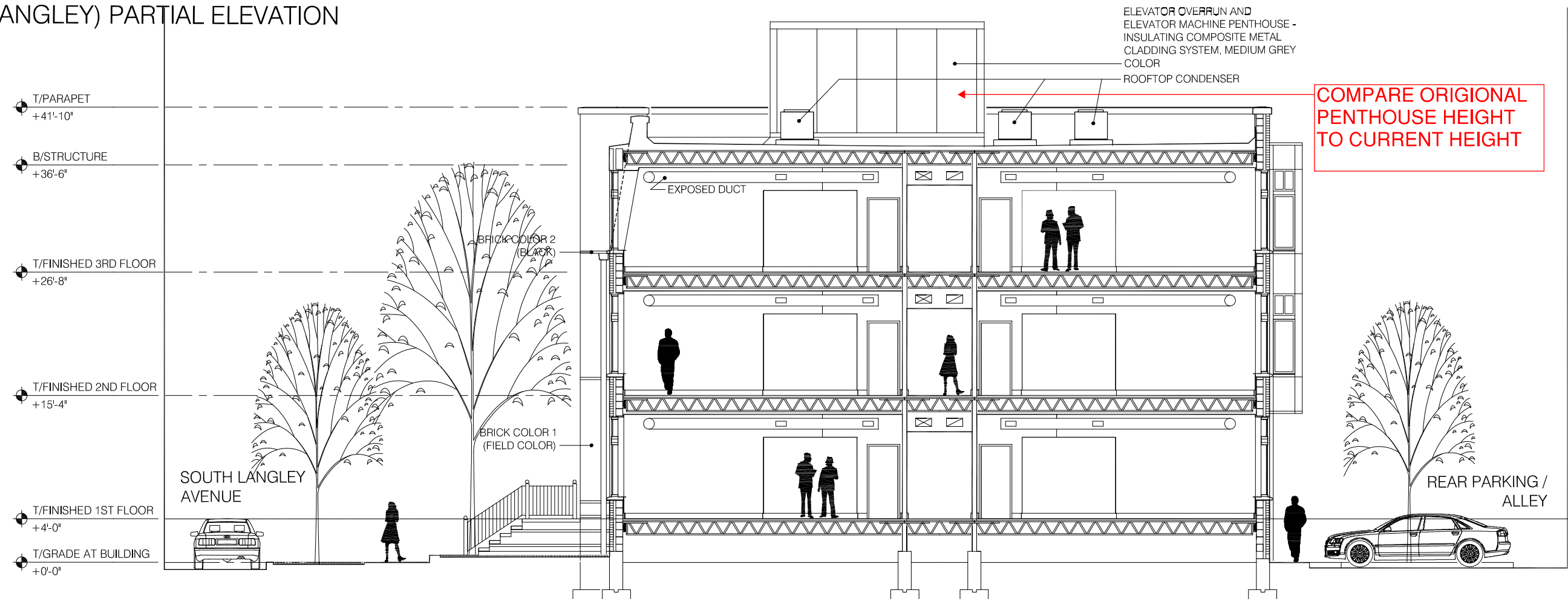


EXISTING BUILDING - TRANSVERSE SECTION

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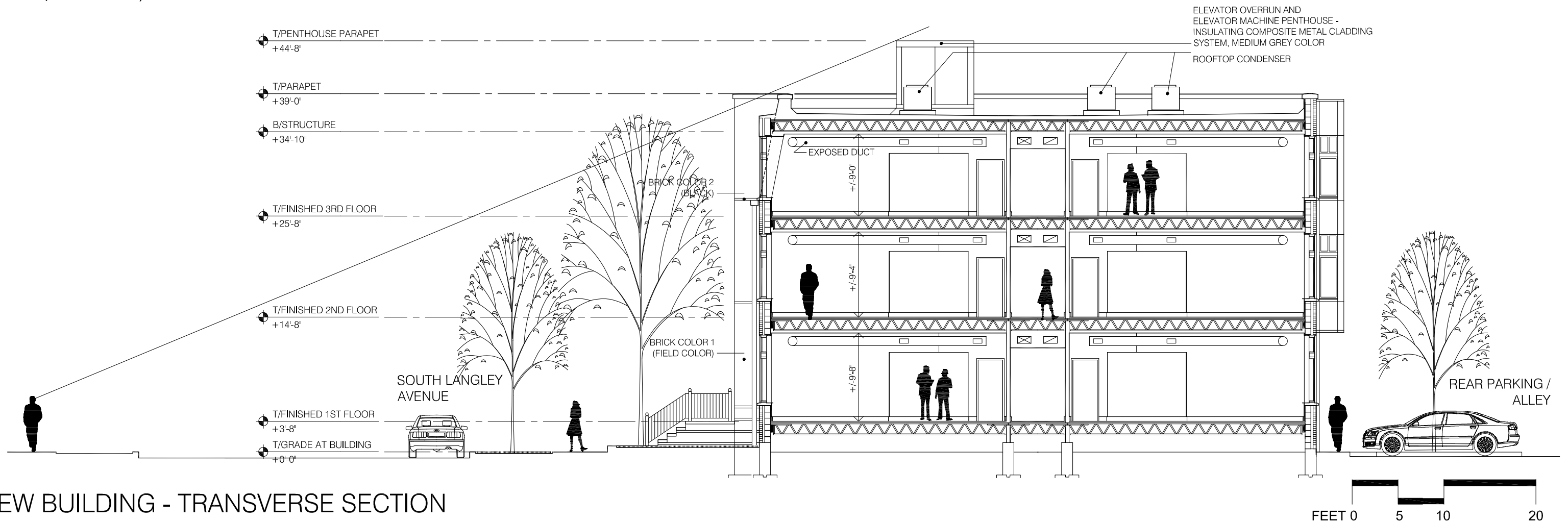


NEW BUILDING - TRANSVERSE SECTION ORIGINAL SUBMITTAL FOR REFERENCE ONLY

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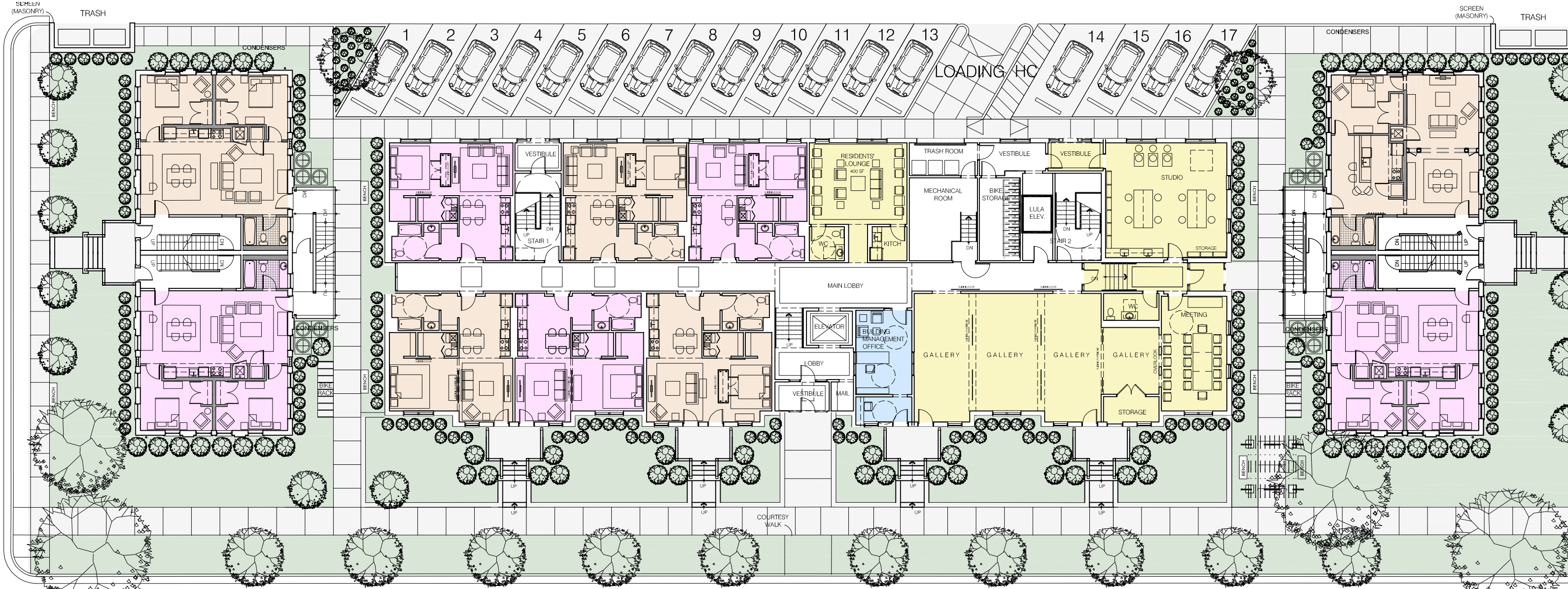


WEST (LANGLEY) PARTIAL ELEVATION



NEW BUILDING - TRANSVERSE SECTION

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FIRST FLOOR PLAN WITH SITE CONTEXT



WEST (LANGLEY) ELEVATION

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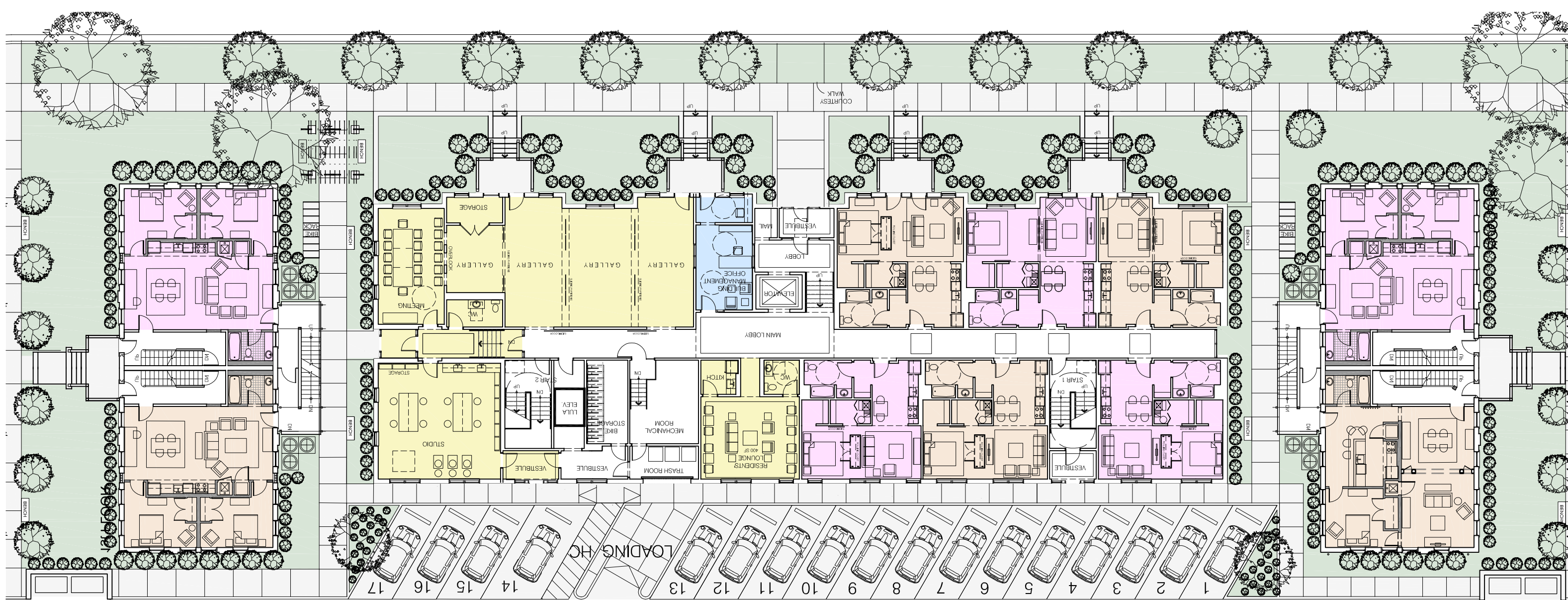


SECOND FLOOR PLAN



THIRD FLOOR PLAN





FIRST FLOOR PLAN WITH SITE CONTEXT



EAST (ALLEY) ELEVATION

FEET 0 5 10 20 40

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WEST SIDE OF 111TH BLOCK OF SOUTH LANGLEY AVENUE



PROPOSED PROJECT ON EAST SIDE OF 111TH BLOCK OF SOUTH LANGLEY AVENUE

DESIGN INFLUENCE

PART 2 SUBMISSION TO ILLINOIS STATE HISTORIC PRESERVATION OFFICE.
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